

AUCTION SALE

COMMERCIAL/MIXED USE PROPERTY

0.19 +/- ACRES

1,443 SF One-Story Office Building



***Teleconference Auction Sale:
Wednesday, May 12 at 11:00 AM***

***910 DeKalb Street
Montgomery County
Norristown, PA 19401***

Broker Participation Invited!



215-634-2500 – auctions@comly.com

COMLY.COM



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1825 E. Boston Street
Philadelphia, PA 19125-1296
215-634-2500 - auctions@comly.com
comly.com

Welcome...

Comly Auctioneers thanks you for your interest in our teleconference auction sale of the property located at 910 DeKalb Street in Norristown, PA!15 Georgetown Road in Wrightstown, NJ!

Enclosed is the information we have available on the property. We hope you will find it helpful and encourage you to contact our office if you have any questions or would like to schedule a preview of the property.

Happy Bidding!

A handwritten signature in black ink that reads 'Andrew J. Comly'. The signature is written in a cursive style with a large, stylized 'A' and 'C'.

Andrew J. Comly
Real Estate Broker #8230738



ABOUT COMLY

Comly Auctioneers & Appraisers strives to continually provide professional auction, appraisal, liquidation and real estate services leading toward solutions that exceed the expectations of our clients.

As one of the oldest family owned and operated auction firms in the United States, Comly Auctioneers & Appraisers offers a full range of auction, appraisal, inventory & real estate services to meet every demand.

The Comly family's seventh generation continues the unsurpassed performance and dedication that first solidified the firm's reputation in 1834.

After everything we have learned during our 187 years of industry leadership, we like to stick with the basics:

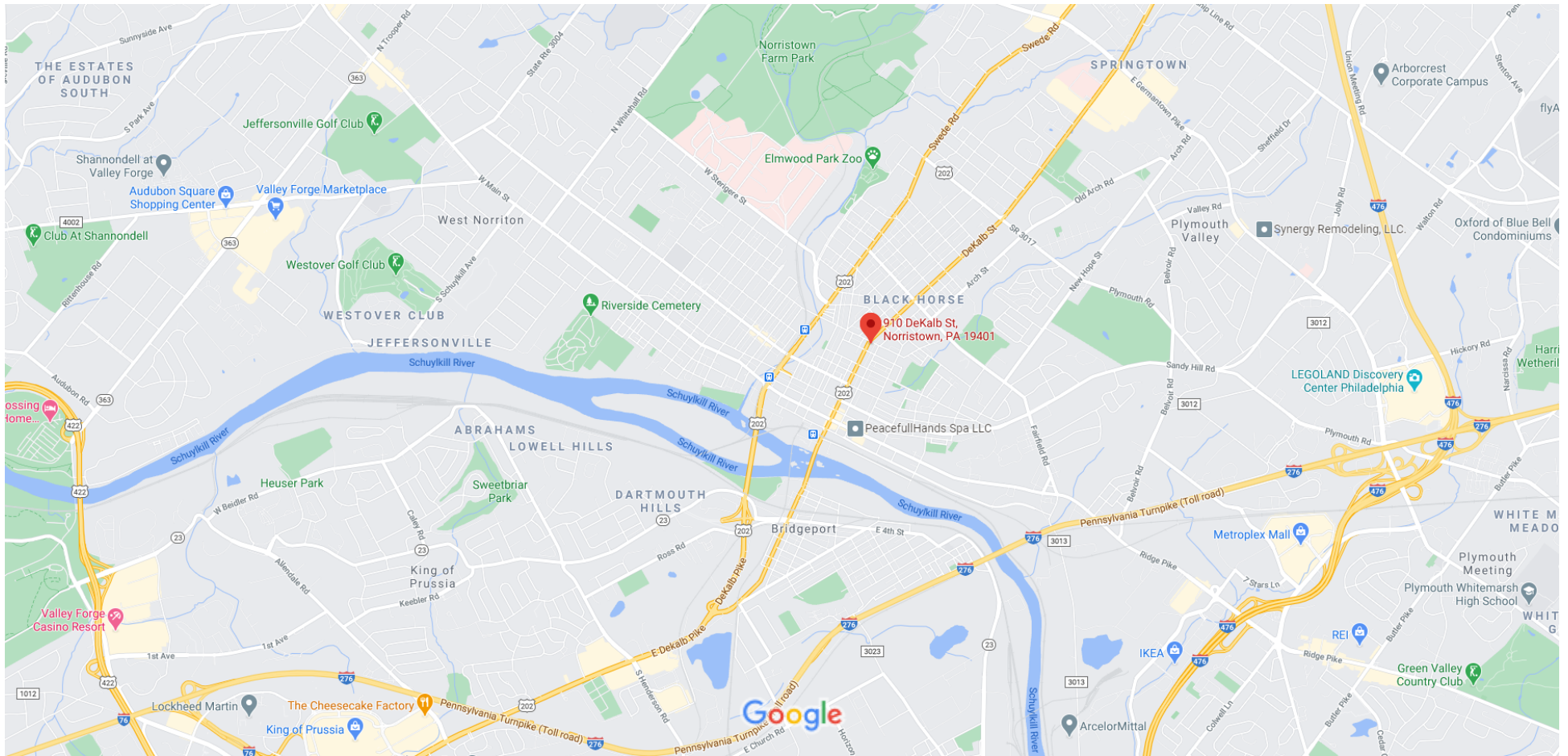
Integrity, Service and Commitment. It's that simple.

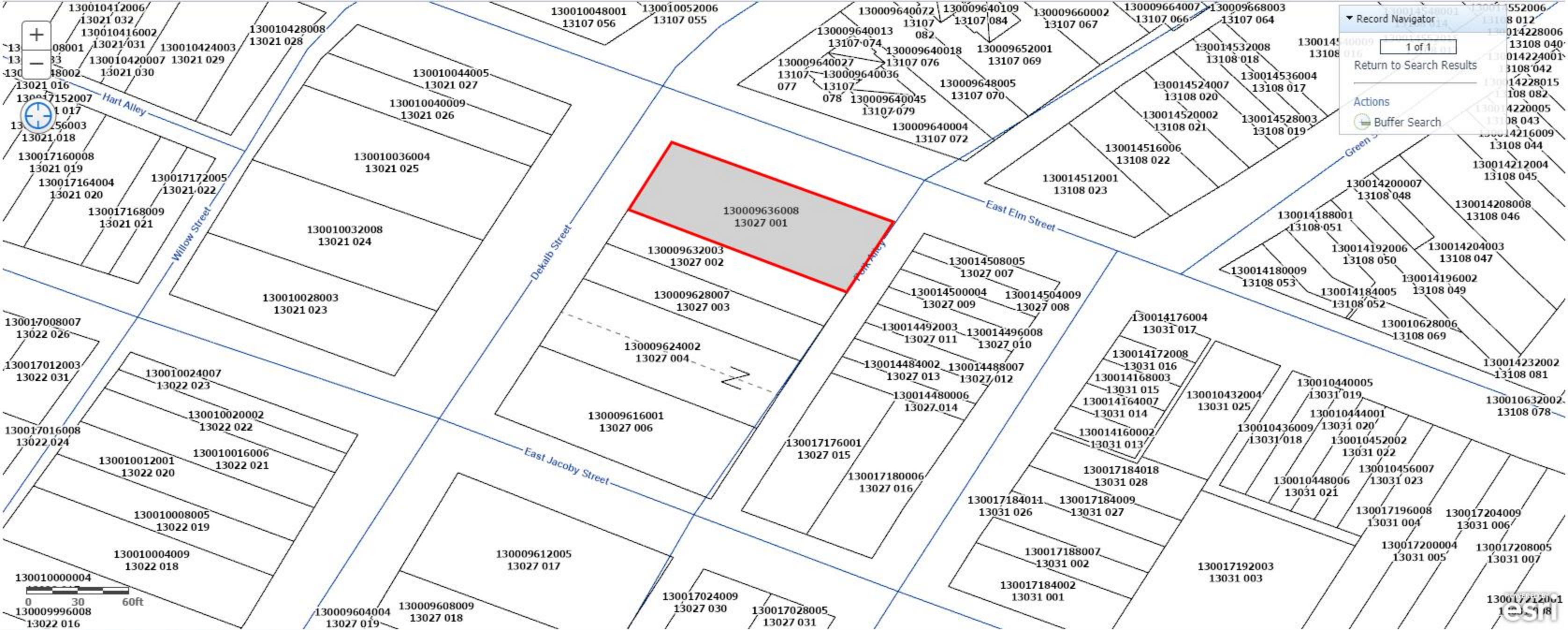
Over 187 years of industry leadership is ready to work for you. Whether it is a residential, commercial, industrial or multi-parcel sale, our services are ready at a moment's notice.

*Interested in selling your property at auction?
Contact Andy Comly at (215) 634-2500

Property Information

Auction Date & Time:	Wednesday, May 12 at 11:00 AM <i>Telephone Bidding Only!</i>
Property Location:	910 DeKalb Street Montgomery County Norristown, PA 19401
Parcel:	13-00-09636-00-8
Block:	203901
Tax Map ID:	13027 001
Taxes:	\$5,227.00
Zoning:	C-Commercial
Exterior Size:	8,400 SF
Interior Size:	1,443 SF
Year Built:	1899
Parking:	15-18 Car Parking Lot in Rear
Heating/Cooling:	Forced Air & Central Air (2020)
Electrical:	New (2020)
Roof:	Restored (2020)
Permitted Uses:	Retail stores for food, drugs, vape, supplies, hardware, furnishings, bakery & variety of merchandise. Service shops including barber shop, hair styling, nail salon, automotive parts, professional office, doctor, lawyer, insurance, counseling, restaurant, taverns & saloons.





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1 of 1

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Actions

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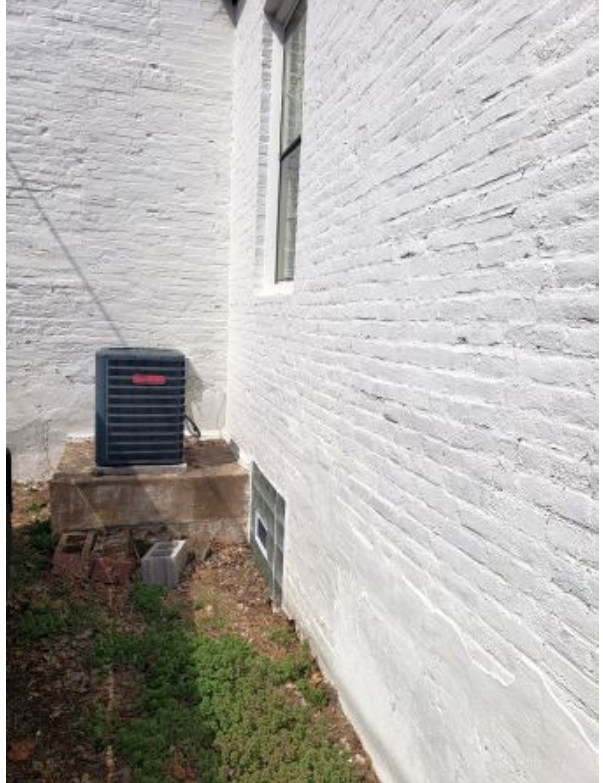




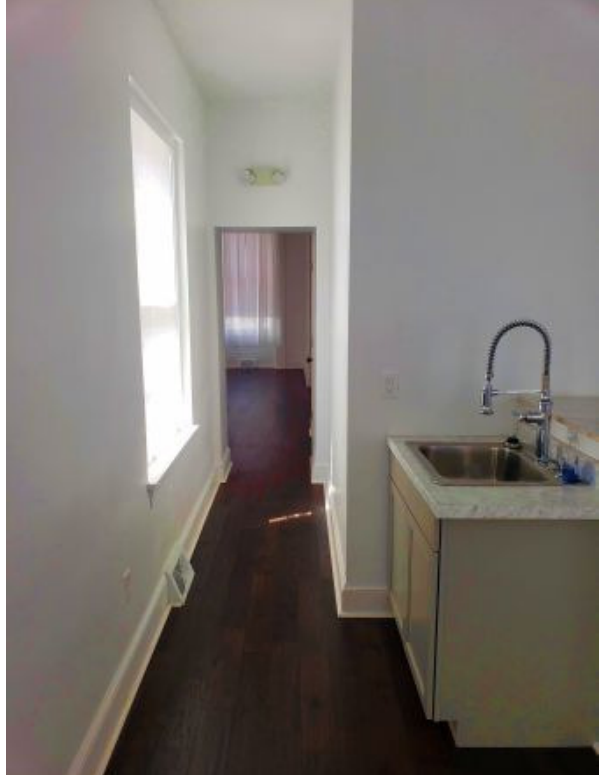




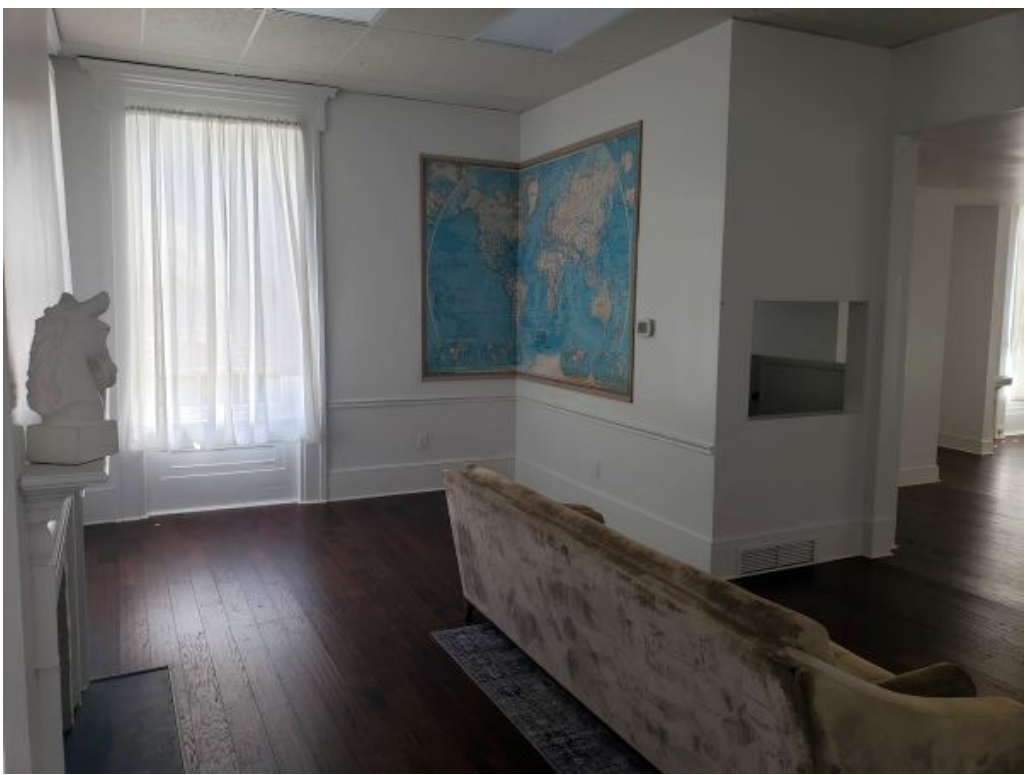
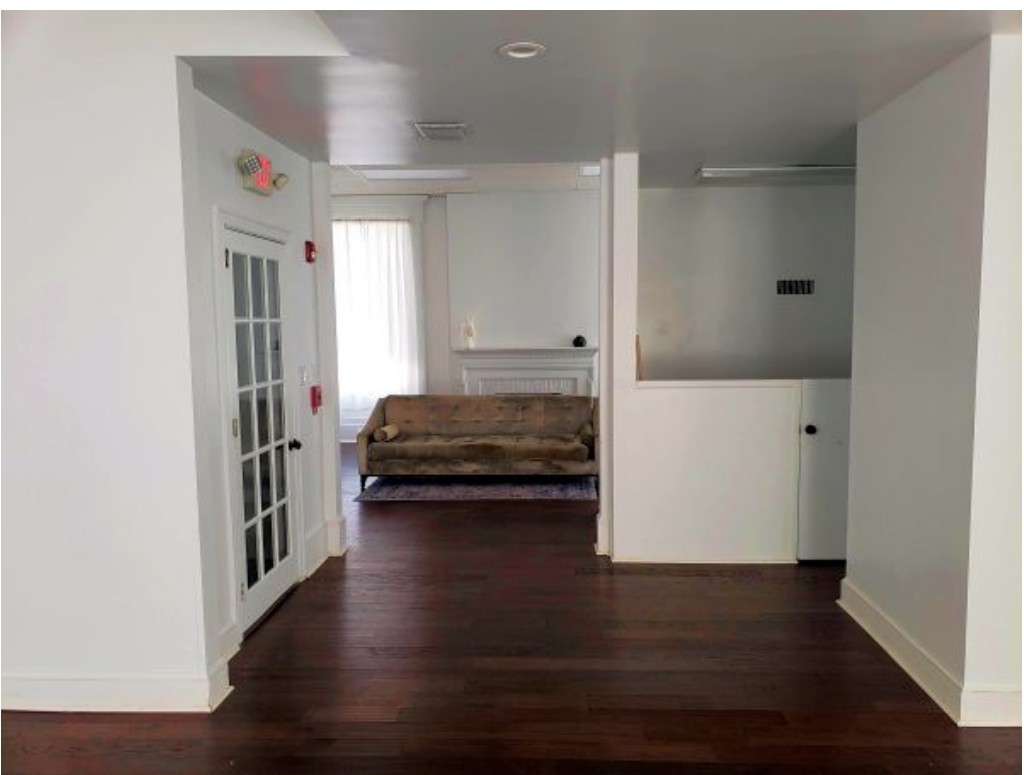




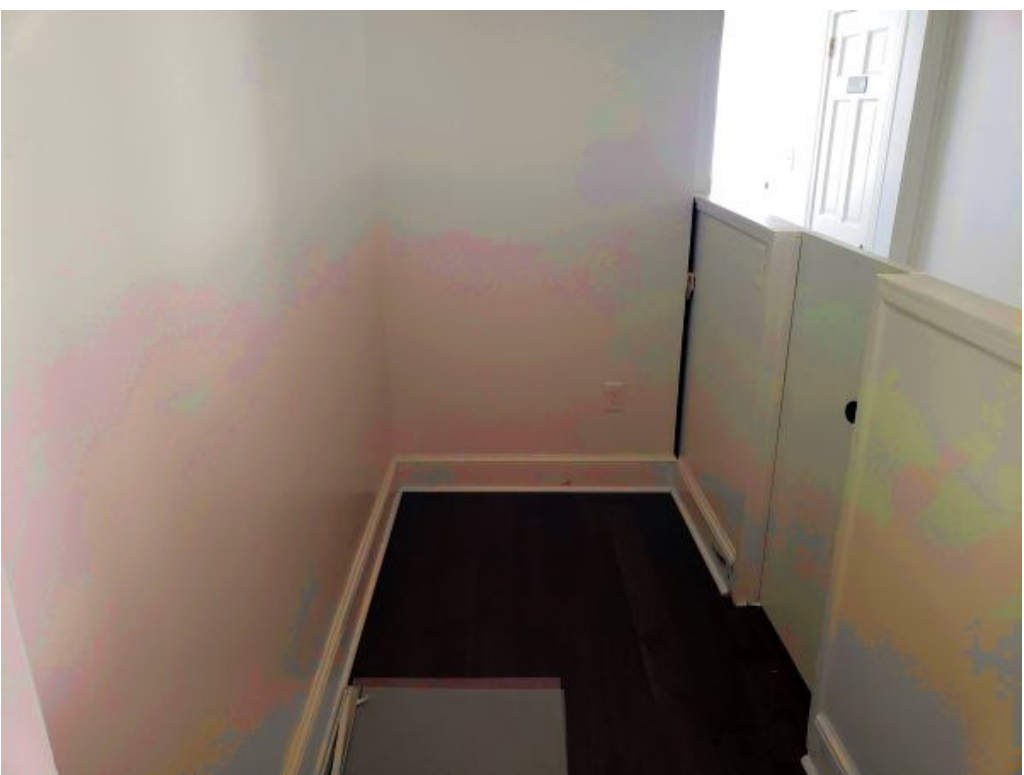
















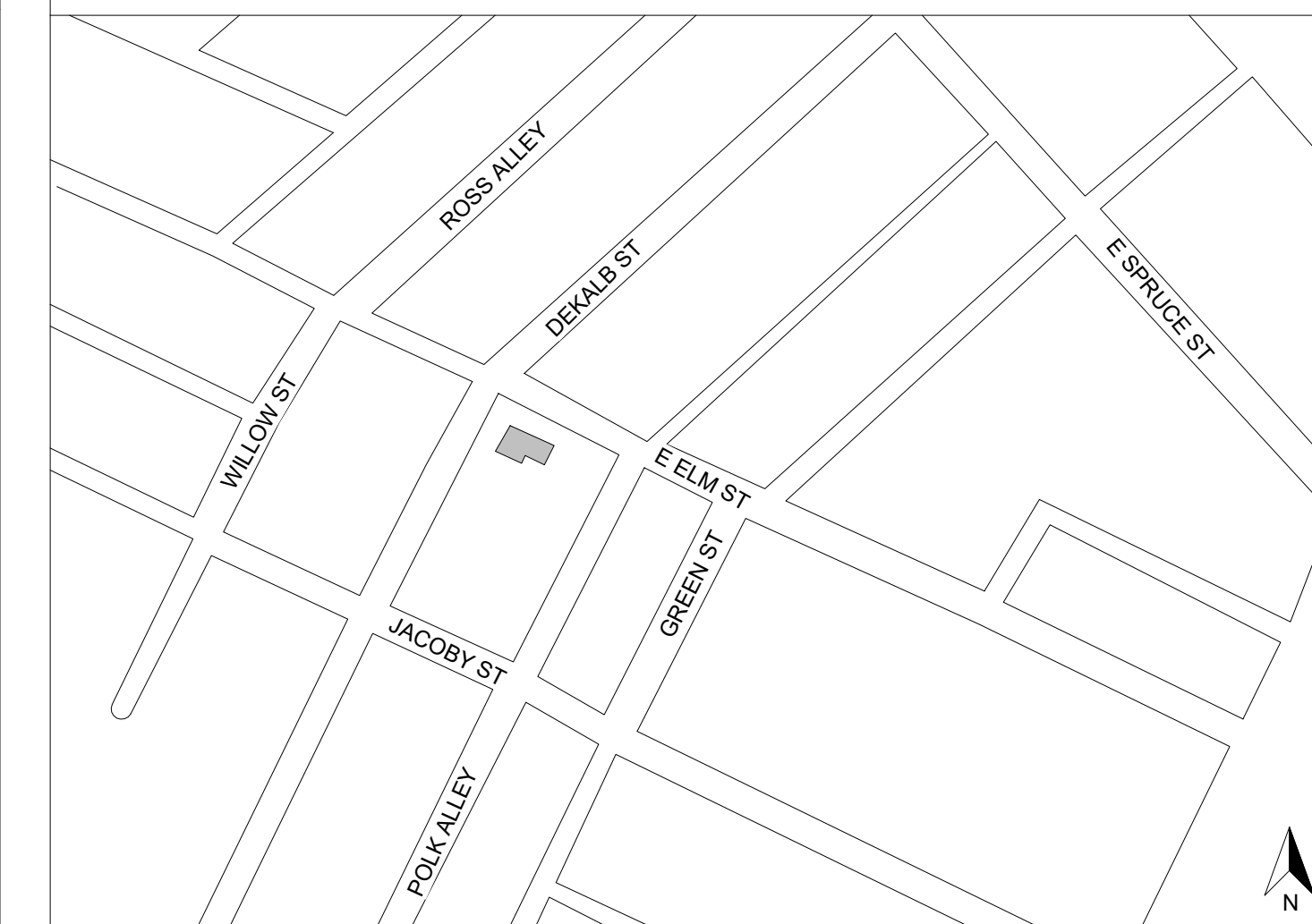
DIRECTORY

CLIENT
LAMAR

ARCHITECT
SKY DESIGN STUDIO
1823 SPRING GARDEN ST
PHILADELPHIA, PA 19130
ATTN:
T: 610-896-3649
F: 215-827-5370
EMAIL: SKY@SKY-DS.COM

MEP ENGINEER

LOCATION MAP



DRAWING INDEX

SHEET NUMBER	SHEET NAME
CS1	COVER SHEET, BASEMENT FLOOR PLAN, BUILDING INFO
A01	EXISTING FLOOR PLAN, POPOSE FLOOR PLAN
A02	ADA GUIDELINE, BATHROOM ELEVATIONS

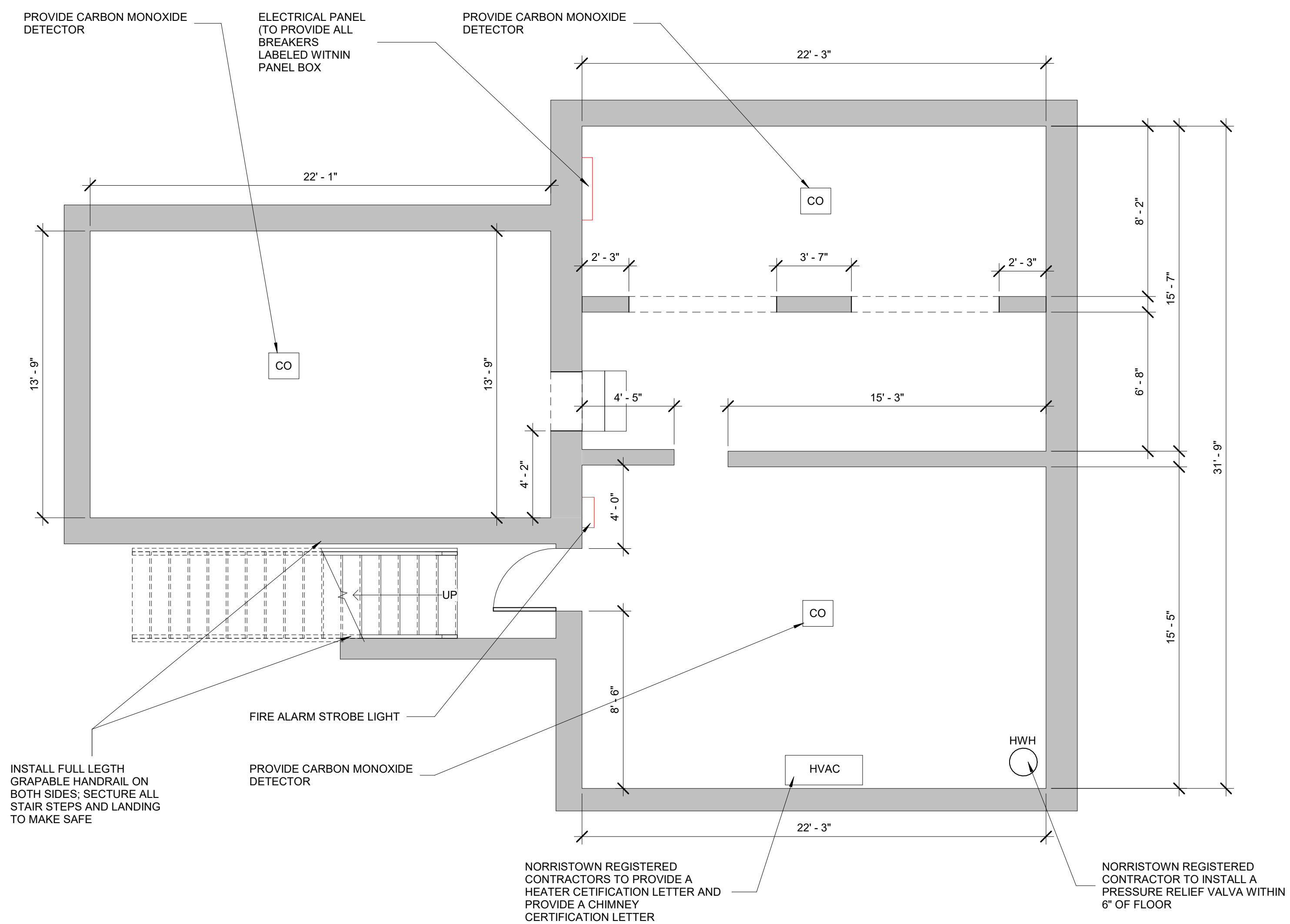
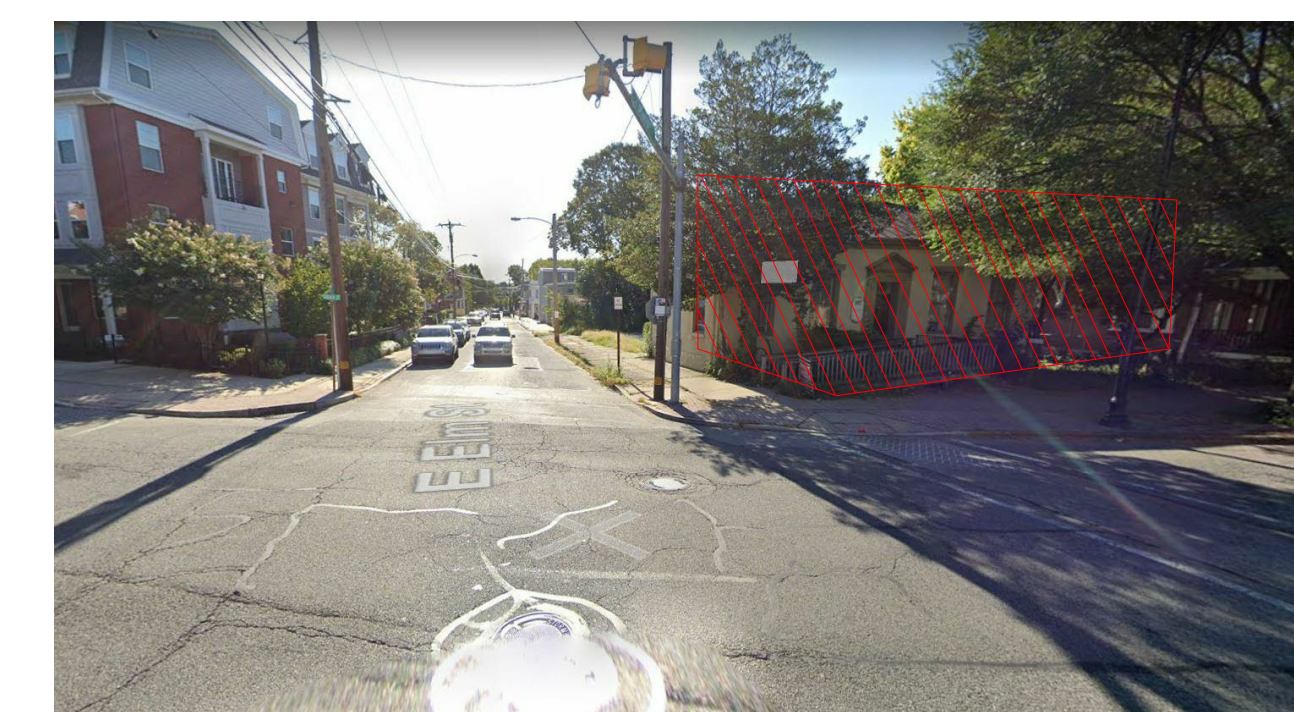
PROJECT INFO

BUILDING ADDRESS: 910 DEKALB ST, NORRISTOWN, PA, 19401
SCOPE OF WORK: ADD ADA BATHROOM

BUILDING DATA

N-C

OCCUPANCY GROUP	NC (NEIGHBORHOOD COMMERCIA)
TOTAL FLOOR AREA (EXCLUDING BASEMENT)	EXISTING
- 1 ST FLOOR	1227 SF
CODE REFERENCE	PENNSYLVANIA UNIFORM CONSTRUCTION CODE PA UCC



1 BASEMENT
1/4" = 1'-0"

SKY

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PROJECT ADDRESS

910 DEKALB ST,
NORRISTOWN, PA, 19401

OWNER

QORE DEVELOPMENT INC

CONSULTANT

XX XXX XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXX, XX XXXXX

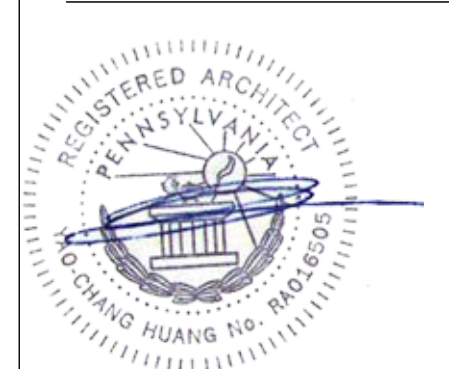
SUBMISSION

BUILDING PERMIT REVIEW
2020.07.28

GENERAL NOTE

GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING & VERIFYING ALL DIMENSIONS PRIOR TO & DURING CONSTRUCTION. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION OR VERIFICATION. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND ANY GOVERNING BUILDING CODES OR ORDINANCES. CONTRACTOR SHALL CHECK WITH THE ARCHITECT (10) DAY PRIOR TO START OF CONSTRUCTION FOR ADDENDUMS OR BULLETINS.

SEAL



DRAWING TITLE

COVER SHEET, BASEMENT FLOOR PLAN, BUILDING INFO

DRAWING NUMBER

CS1

PROJECT ADDRESS

910 DEKALB ST,
NORRISTOWN, PA, 19401

OWNER

QORE DEVELOPMENT INC

CONSULTANT

XX XX XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXX XX XXXXX

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SEAL



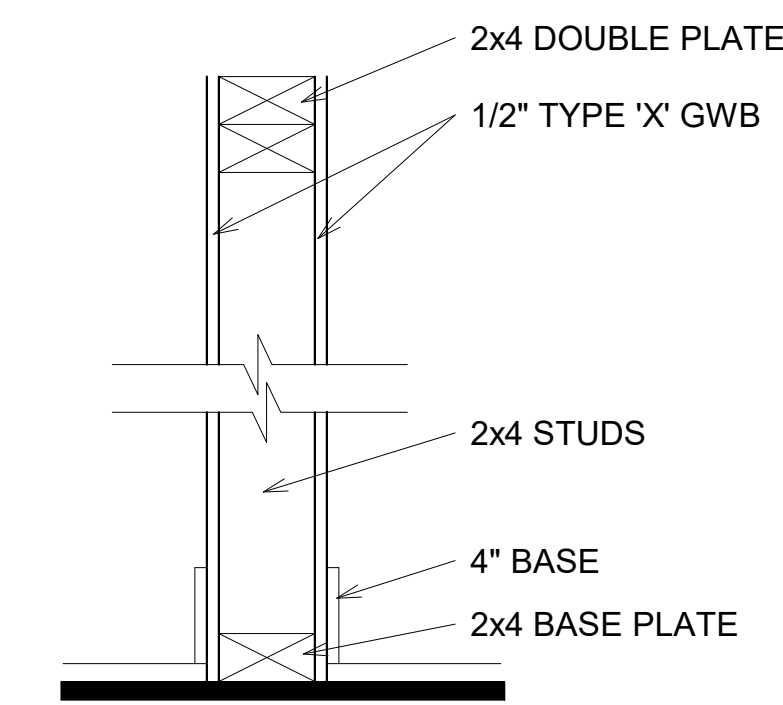
DRAWING TITLE

FLOOR PLAN

DRAWING NUMBER

A01

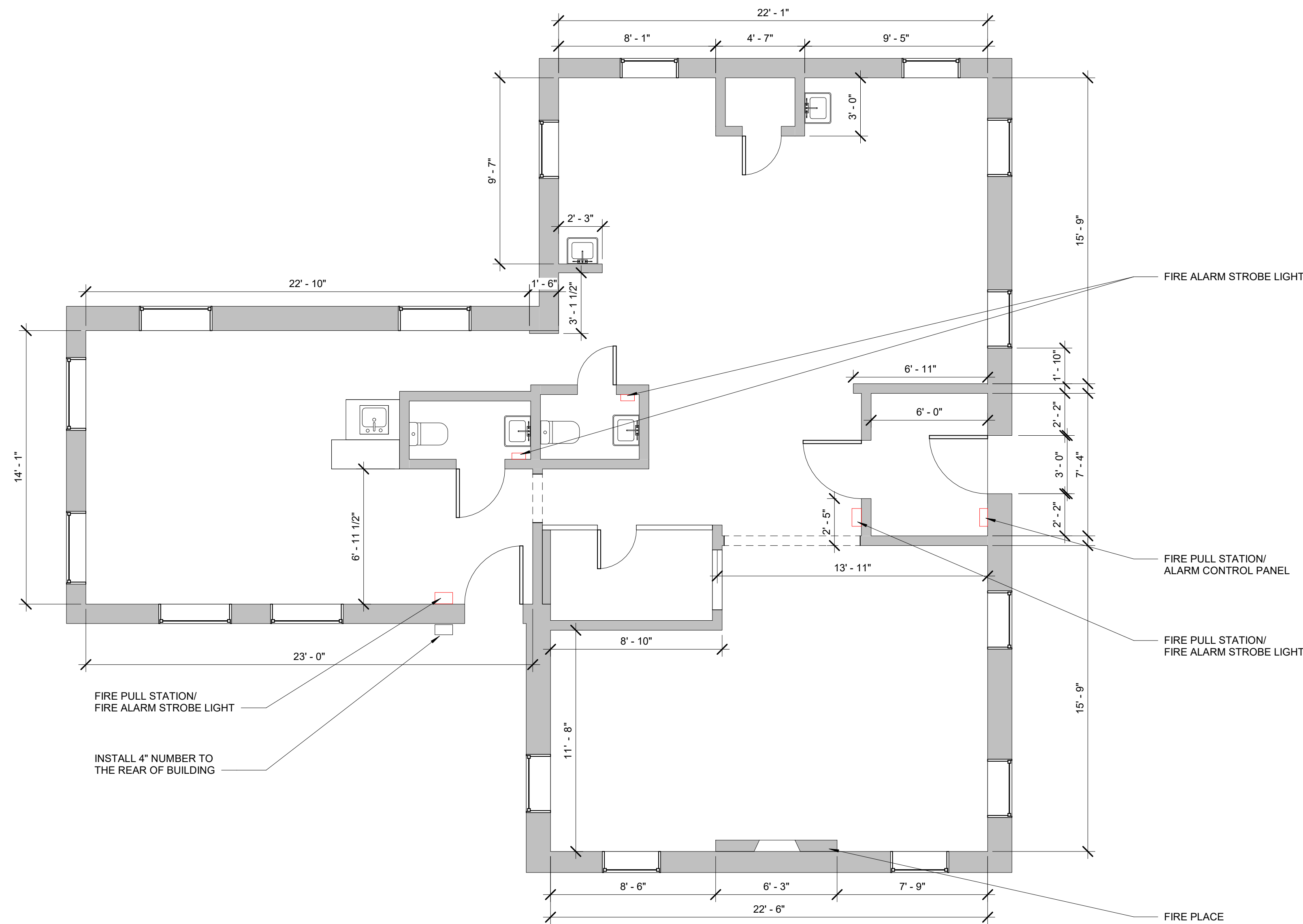
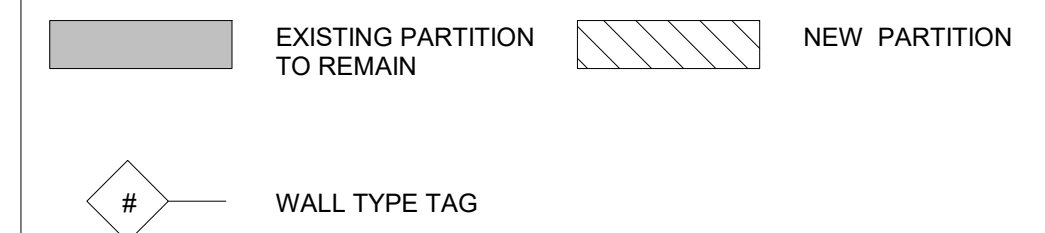
WALL DETAIL



1 2x4 WD INTERIOR PARTITION

*USE 1/2" CERMENT BOARD FOR WET AREA

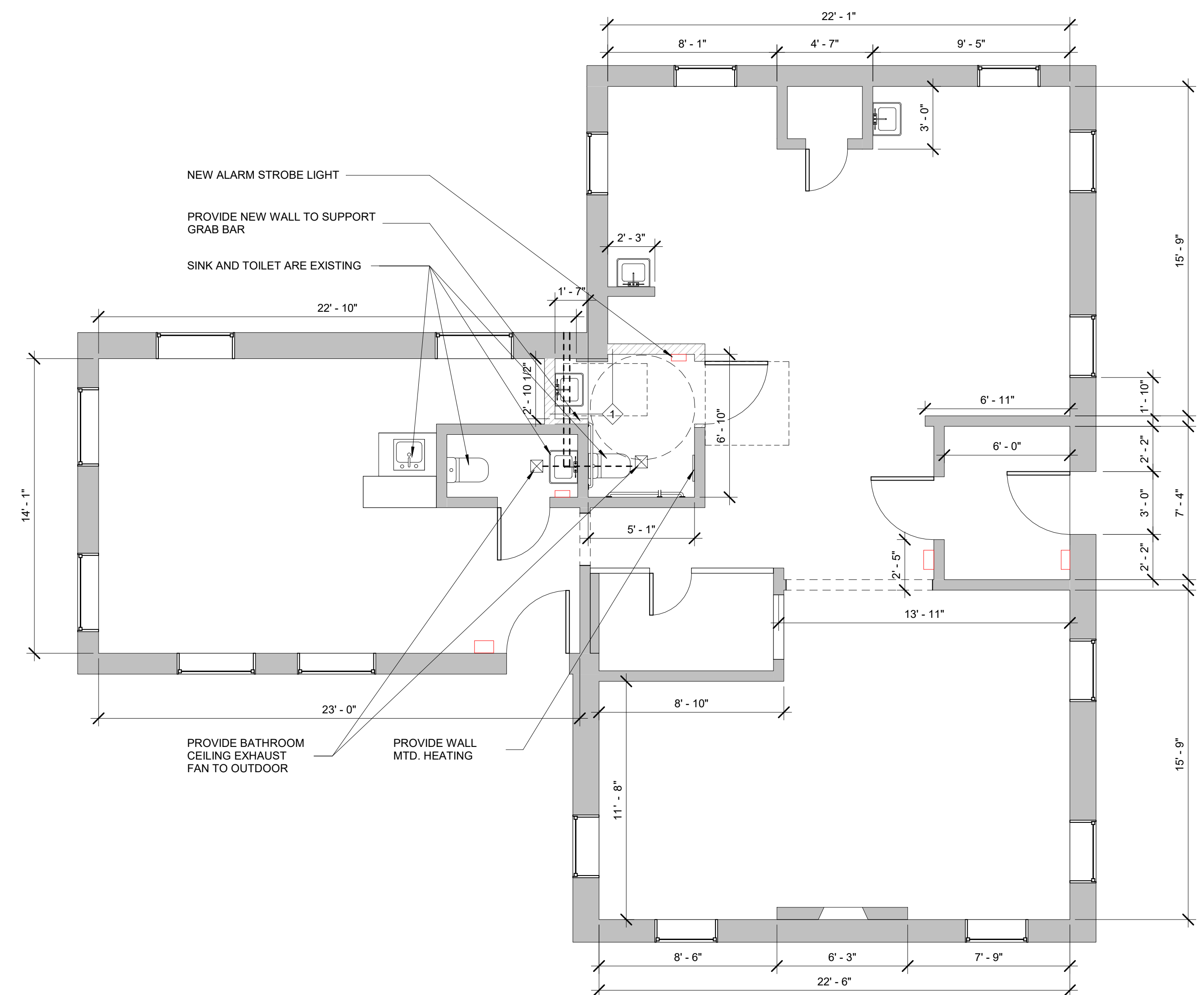
WALL LEGEND



1 EXISTING 1ST FLOOR
1/4" = 1'-0"



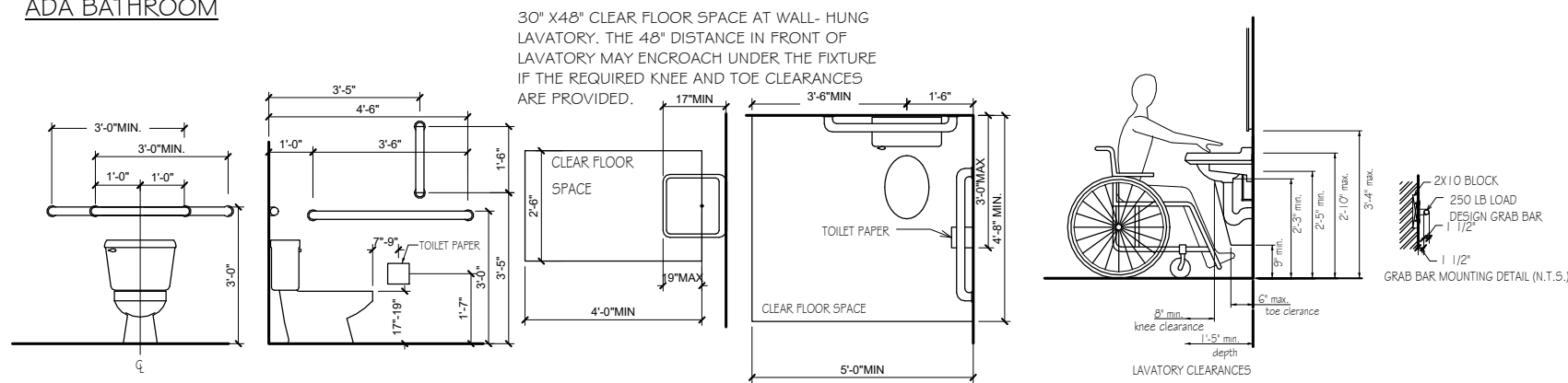
*NOTE FOR FRONT RAMP:
SECURE ALL FLOOR BOARDS
AND RAILING TO MAKE SAFE



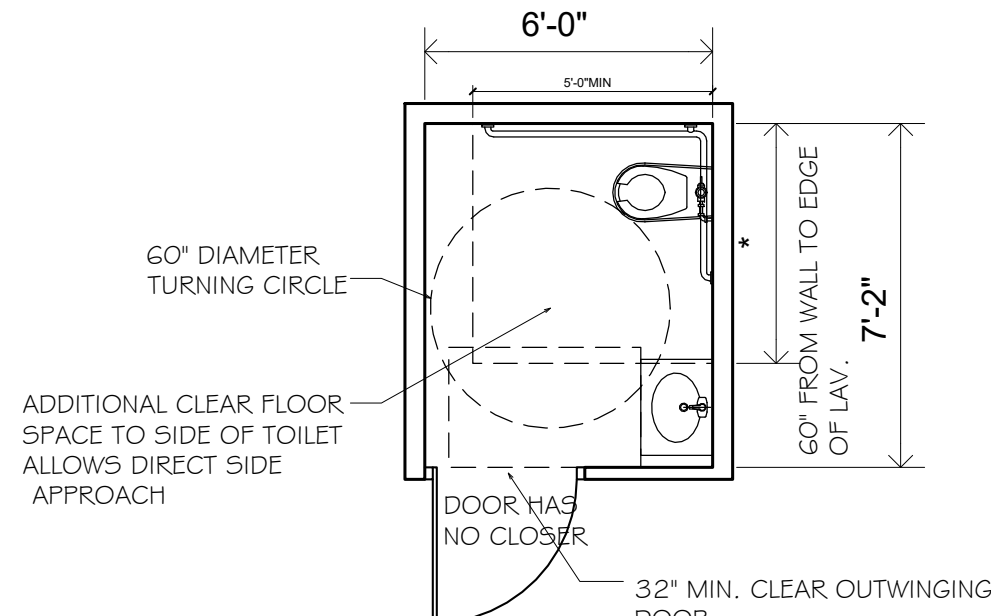
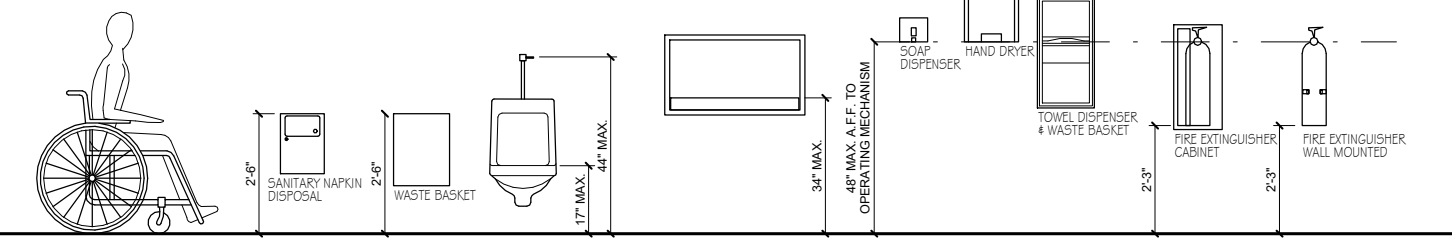
2 POPOSED FLOOR PLAN
1/4" = 1'-0"

ADA GUIDELINES

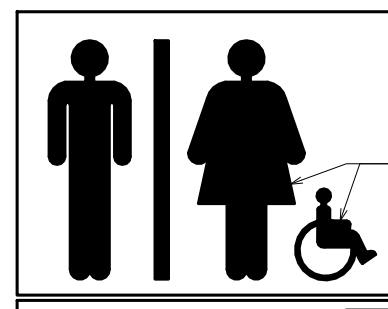
ADA BATHROOM



NOTE: Bars shall Resist 250 pounds (111 No Newtons) force in any direction.



ADA REQUIREMENT



CHARACTERS SHALL CONTRAST WITH THE BACKGROUND REFER TO ANSI 117, SECTION 703 FOR CHARACTER SIZES
HIGH PICTOGRAMS

HIGH TEXT
HIGH BRAILLE

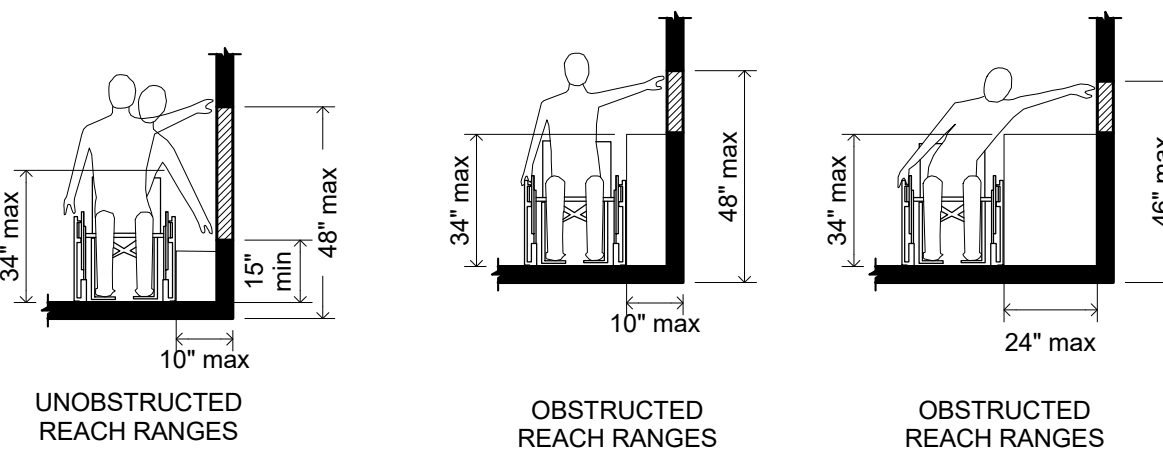
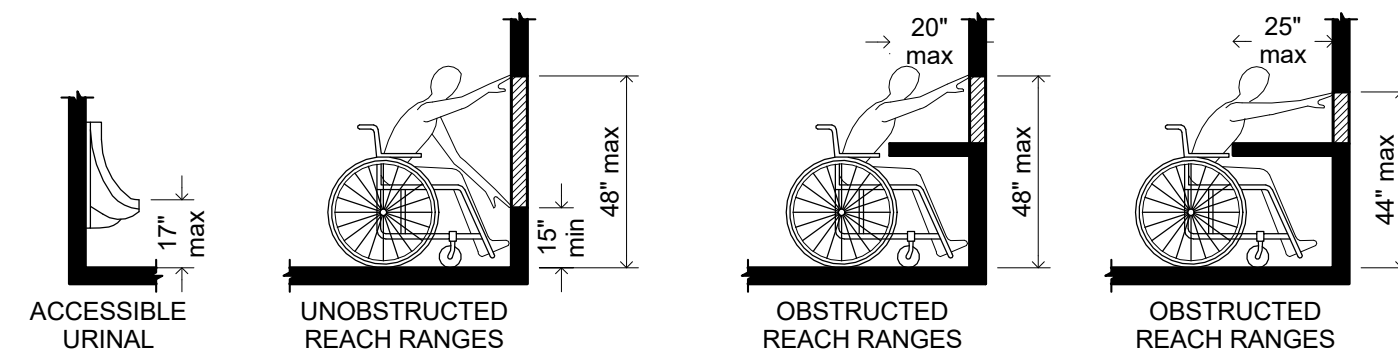
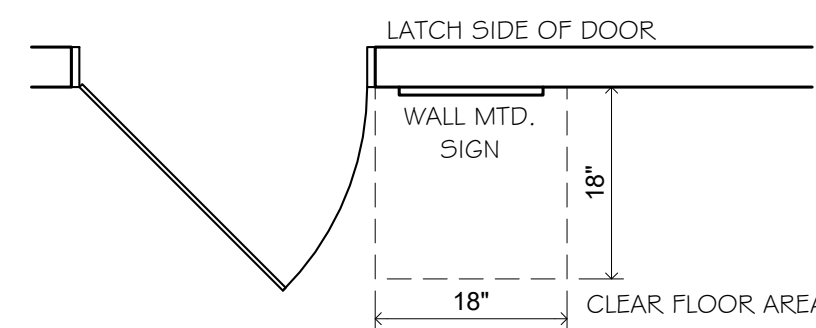
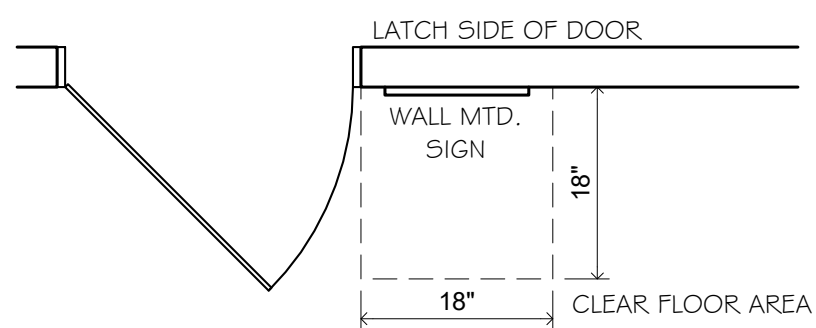
PROVIDE AND INSTALL TACTILE EXIT SIGNS COMPLYING WITH ANSI A117.1-2003



CHARACTERS SHALL CONTRAST WITH THE BACKGROUND REFER TO ANSI 117, SECTION 703 FOR CHARACTER SIZES
HIGH PICTOGRAMS

HIGH TEXT
HIGH BRAILLE

PROVIDE AND INSTALL TACTILE EXIT SIGNS COMPLYING WITH ANSI A117.1-2003

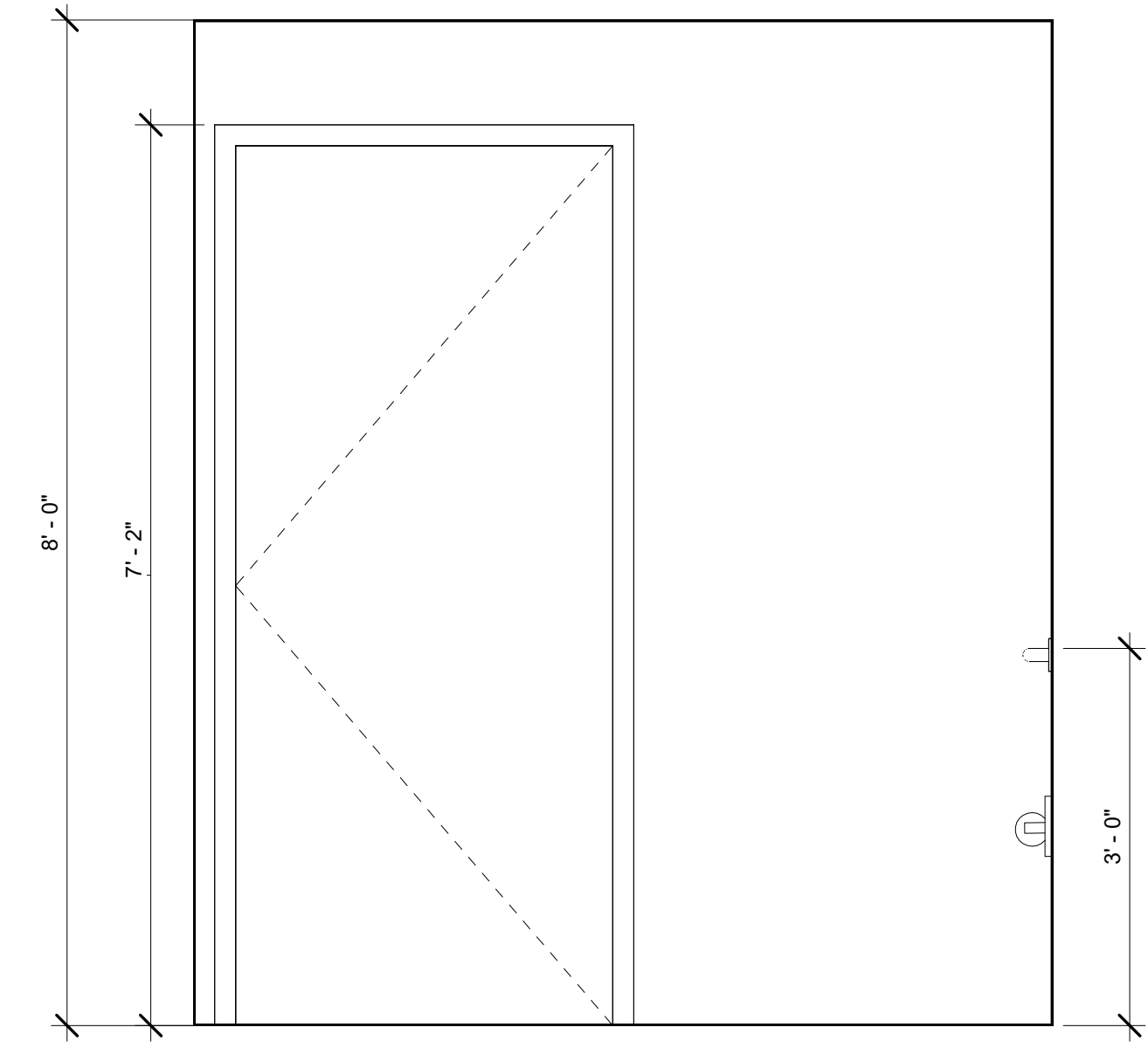


	FORWARD REACH		SIDE REACH	
	UNOBSTRUCTED	OBSTRUCTED	UNOBSTRUCTED	OBSTRUCTED
REACH DEPTH	N/A	< 20\"/>		
REACH HEIGHT	HIGH: 48\"/>			

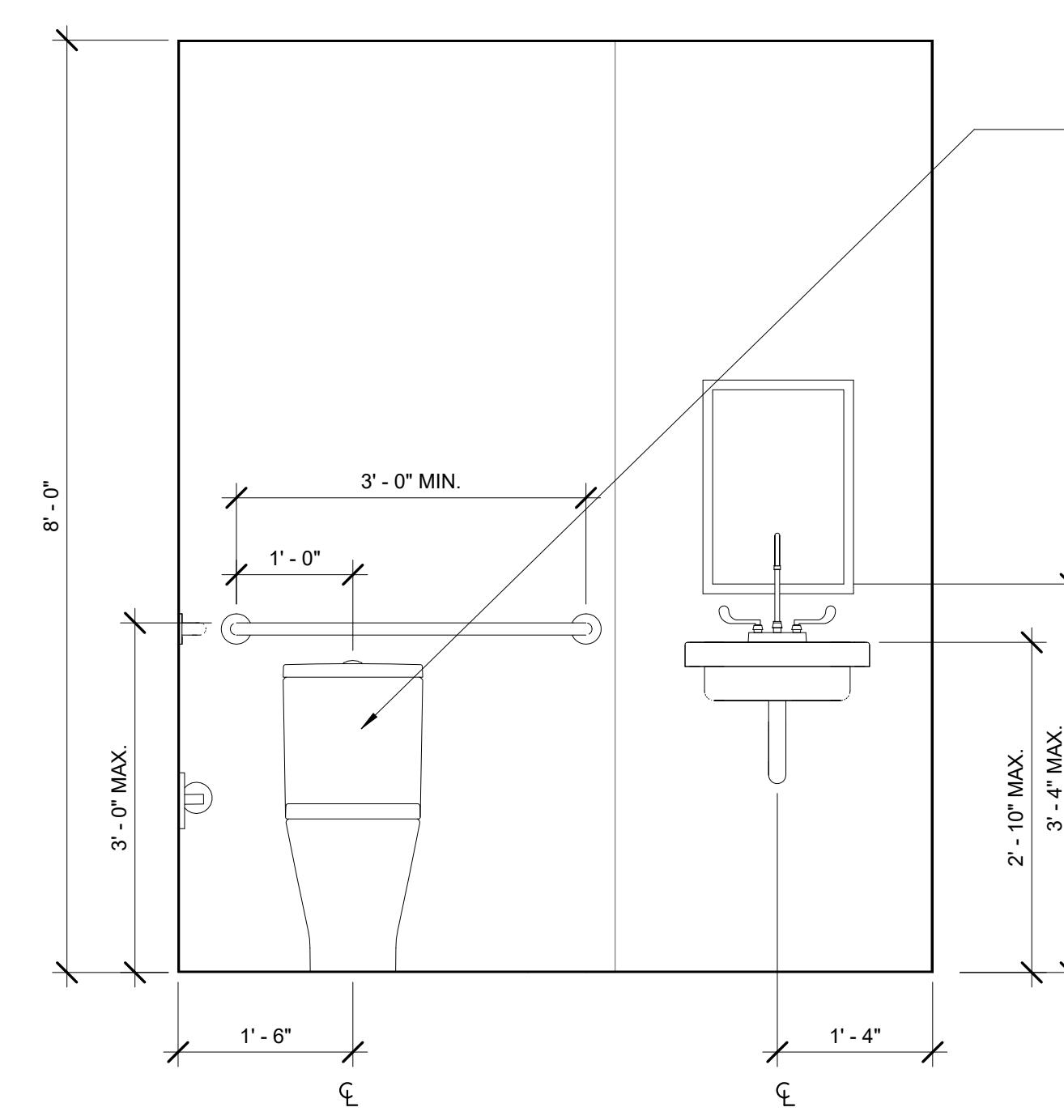
THIS REACH INFORMATION APPLIES TO THE HIGHEST MOST OPERABLE PART OF WALL MOUNTED ELECTRICAL SWITCHES AND OUTLETS, THERMOSTATS, TELEPHONES, CABINETS, ELEVATOR CONTROL BUTTONS, COAT HOOKS, SHelves, DISPENSERS AND SIMILAR WALL MOUNTED FIXTURES PER ANSI A117.1-2003.

* 34\"/>

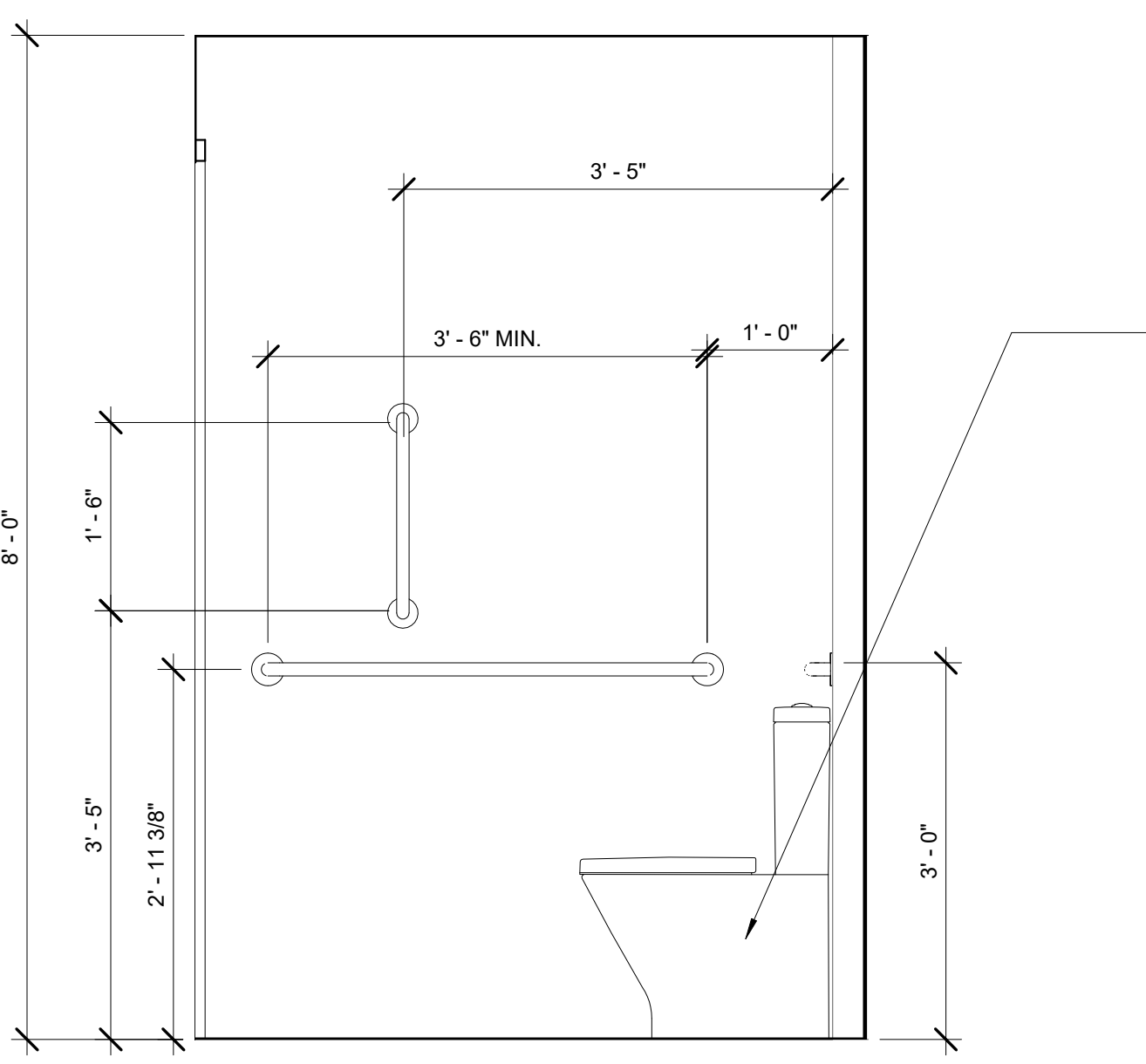
** ACCESSIBLE REACH RANGES SHALL BE VERIFIED AND COMPLY WITH ANSI A117.1-2003 SECTION 308



2 BATHROOM EAST ELEVATION
3/4" = 1'-0"



3 BATHROOM SOUTH ELEVATION
3/4" = 1'-0"



4 BATHROOM WEST ELEVATION
3/4" = 1'-0"

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PROJECT ADDRESS

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NORRISTOWN, PA, 19401

OWNER

QORE DEVELOPMENT INC

CONSULTANT

XX XXX XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXX, XX XXXXX

SUBMISSION

BUILDING PERMIT REVIEW
2020.07.28

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SEAL



DRAWING TITLE

ADA GUIDELINE /
BATHROOM ELEVATIONS

DRAWING NUMBER

A02

NOTES:

- FURNISH ALL NECESSARY LABOR, MATERIAL, EQUIPMENT, AND SUPERVISION REQUIRED FOR THE PROPER COMPLETION OF THE PLUMBING AND RELATED WORK, INCLUDING COMPLIANCE WITH LOCAL, STATE, AND FEDERAL CODES, REGULATIONS AND STANDARDS.
- INSULATION AND ADHESIVE USED ON THIS PROJECT SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NO MORE THAN 25 AND A SMOKE DEVELOPED RATINGS OF NOT MORE THAN 50.
- ALL PIPING PENETRATIONS OF FIRE RATED PARTITIONS SHALL BE SAFE OFF WITH AN APPROVED FIRE RATED SEALANT.
- ALL DOMESTIC PIPING SHALL BE INSULATED INCLUDING PIPING IN WALLS.
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE BEFORE INSTALLATION OF HIS WORK.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ALL EQUIPMENT AND FIXTURES.
- PROVIDE ACCESSIBLE CLEANOUTS AT THE BASE OF ALL SANITARY STACKS AND AT THE BASE OF ALL VERTICAL RAINWATER CONDUCTORS.
- DRAINAGE PIPING CLEANOUTS SHALL BE LOCATED IN UNFINISHED ROOMS, STORAGE ROOMS, CLOSETS, AND JANITORS CLOSETS WHERE POSSIBLE. EXTEND FLOOR CLEANOUTS FROM MAIN DRAIN TO THESE ROOMS. CLEANOUT LOCATIONS IN FINISHED ROOMS ARE TO BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
- ALL CLEAN-OUTS SHALL MATCH THE FLOOR TYPE WHERE INSTALLED.
- CONNECT ALL VENT STACKS TO BASE OF SOIL STACKS.
- PLUMBING CONTRACTOR SHALL VERIFY LOCATION AND INVERT ELEVATION OF EXISTING DRAINAGE PIPING BEFORE PROCEEDING WITH NEW DRAINAGE PIPING INSTALLATION.
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH ANY WORK.
- INSTALLING CONTRACTOR TO PROVIDE 1/8" SCALE SHOP DRAWINGS. COORDINATE ALL PIPING LOCATIONS IN ACCORDANCE WITH ARCHITECTURAL PLANS.
- PRIOR TO THE START OF WORK, CONTRACTOR SHALL SUBMIT TO ENGINEER THE FOLLOWING FOR REVIEW:
 - LOCATIONS AND CONCEPTUAL DETAILS OF SUPPORTS, INCLUDING METHODS OF ATTACHMENT TO STRUCTURAL COMPONENTS.
 - MAGNITUDES AND DIRECTIONS OF LOADS ANTICIPATED, STRUCTURAL ATTACHMENT POINTS UNDER ALL OPERATING CONDITIONS OF PIPING SYSTEM.
 - SEISMIC CONFORMANCE TO LOCAL REQUIREMENTS INCLUDING 2009 IBC.
 - ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE CODES LISTED ON ARCHITECTURAL COVER SHEET.
- ALL EXCAVATION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE REGULATIONS OF (OSHA) THE OCCUPATIONAL SAFETY AND HEALTH ASSOCIATION.
- PIPING TO BE INSTALLED IN ACCESSIBLE AREAS. IN CASES WHERE THE PIPING WILL BE EXTENDED THROUGH A SUPPORTING WALL, PERMANENT CEILING OR FLOOR, SLEEVES MUST BE INSTALLED.
- PLUMBING PIPING SHALL NOT BE RUN THROUGH ELECTRICAL ROOMS, TELECOMMUNICATION ROOMS, OR ELEVATOR MACHINE ROOMS, EXCEPT FOR BRANCH PIPING SERVING EQUIPMENT IN THESE ROOMS.
- UNLESS NOTED OTHERWISE ALL DRAINAGE PIPING SHALL HAVE A 0.01 SLOPE EXCEPT PIPING 3" AND SMALLER WHICH SHALL HAVE A 0.02 SLOPE.
- ALL UNDERGROUND WASTE PIPING SHALL BE 2" MINIMUM.
- ALL FLOOR DRAINS SHALL BE PROVIDED WITH A TRAP PRIMER CONNECTION. PROVIDE A 1/2" COPPER LINE EXTENDED FROM TRAP PRIMER AS SPECIFIED TO THE PRIMER CONNECTION.
- ALL PIPING SYSTEMS SHALL HAVE VALVES AT POINTS SHOWN ON THE DRAWINGS AND/OR AS REQUIRED FOR ISOLATION OF EQUIPMENT AND FIXTURES.
- SHUT-OFF VALVES CAPABLE OF 100 PERCENT DEAD SHUT-OFF SHALL BE PROVIDED ON EACH BRANCH LINE FROM THE MAIN AND BE INSTALLED FOR ALL EQUIPMENT AND PLUMBING FIXTURES TO PERMIT ISOLATION FOR MAINTENANCE AND REPAIR.
- PROVIDE ISOLATION VALVES AT ALL CONNECTIONS TO RISERS, BRANCH PIPING AND TO ISOLATE INDIVIDUAL FIXTURES.
- INSTALL VALVES WITH NEAT APPEARANCE AND ACCESSIBILITY.
- CONNECTIONS SHALL BE MADE TO INSURE UNRESTRICTED CIRCULATION WITH NO AIR POCKETS OF TRAPPED CONDENSATE.
- DISCHARGE LINES FROM ALL RELIEF VALVES SHALL BE PIPED TO WITHIN FOUR INCHES (4") OF FLOOR DRAINS.
- SAFETY VALVES SHALL BE PIPED TO ATMOSPHERE IN ACCORDANCE WITH GOVERNING CODES, INCLUDING ALL SAFETY MEASURES RELATED TO PROPER OPERATION.
- BACK FLOW PREVENTORS TO BE INSTALLED AS REQUIRED PER CODE OR AS REQUIRED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL DOMESTIC HOT WATER RETURN BRANCH CONNECTIONS SHALL BE EQUIPPED WITH A BALL VAVE, CHECK VALVE, AND BALANCING VALVE.
- ALL PIPING SHALL BE SUPPORTED AT 4'-0" ON CENTER BOTH HORIZONTALLY AND VERTICALLY.
- INSTALLING CONTRACTOR SHALL SUPPLY ALL PLUMBING FIXTURES, CARRIERS, AND ASSOCIATED TRIM.
- PROVIDE DIELECTRIC UNIONS AT ALL CONNECTIONS BETWEEN DISSIMILAR MATERIALS.
- PROVIDE SHOP DRAWINGS PRIOR TO START OF WORK.
- PLUMBING CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS PRIOR TO START OF PLUMBING SYSTEM INSTALLATION.
- ALL DRAIN GRATES, CLEANOUT COVERS, AND OTHER FINISH-EXPOSED COMPONENTS SHALL BE PROTECTED FROM DAMAGE. DAMAGED COMPONENTS SHALL BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO CONTRACT.
- SCHEDULE ALL SHUTDOWNS THAT AFFECT UTILITIES AND PORTIONS OF THE BUILDING THAT MUST REMAIN IN OPERATION WITH THE OWNER.
- DEMOLITION WORK AT ALL TIMES SHALL BE SUBJECT TO THE DIRECTION AND APPROVAL OF THE OWNER AND BE CARRIED OUT IN SUCH A MANNER SO AS NOT TO INTERFERE WITH THE NORMAL OPERATION OF THE BUILDING.
- DISPOSE OF ALL REMOVED MATERIAL IN APPROVED MANNER.
- ISOLATE, DRAIN, AND REFILL EXISTING SYSTEMS AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW SYSTEMS.
- PROVIDE ALL NECESSARY TEMPORARY OR PERMANENT CAPS OR PLUGS FOR PIPING. DO NOT LEAVE PIPING OPEN ENDED.
- EQUIPMENT AND MATERIALS DESIRED BY THE OWNER SHALL BE STORED AT THE SITE BY THE CONTRACTOR AT A LOCATION DIRECTED BY THE OWNER. EQUIPMENT AND MATERIALS NOT DESIRED BY THE OWNER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR IMMEDIATELY.
- REMOVE AND/OR RELOCATE EXISTING EQUIPMENT AS SPECIFIED OR SHOWN ON THE DRAWINGS IN A NEAT AND WORKMANLIKE MANNER. HANGERS, FOUNDATIONS AND/OR STRUCTURAL SUPPORTS FOR SAID EQUIPMENT AND MATERIALS SHALL BE REMOVED.
- NO EXISTING EQUIPMENT OR MATERIAL SHALL BE REUSED WITHOUT SPECIFIC APPROVAL OF THE OWNERS REPRESENTATIVE.
- ALL EQUIPMENT AND MATERIAL TO BE REMOVED THAT IS DESIRED BY THE OWNER SHALL BE RIGGED TO AN ONSITE STORAGE LOCATIONS AS DIRECTED BY THE OWNER.
- ALL WATER HAMMER ARRESTORS SHALL BE LOCATED IN AN ACCESSIBLE LOCATION AS REQUIRED BY CODE. PROVIDE ACCESS PANELS AS NEEDED.
- ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 INTERNATIONAL PLUMBING CODE AND ALL OTHER APPLICABLE CODES.
- CAP ALL UNUSED PIPING BEHIND FINISHED SURFACES AS REQUIRED TO ACCOMMODATE NEW WORK.
- STERILIZE THE WATER DISTRIBUTION SYSTEM BY THE METHODS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- TEST THE SANITARY PIPING THROUGHOUT UPON COMPLETION OF ROUGH-IN TESTING SHALL BE IN COMPLIANCE WITH 2015 INTERNATIONAL AND LOCAL PLUMBING CODE.
- TEST THE DOMESTIC HOT & COLD WATER PIPING WITH A HYDROSTATIC PRESSURE. TESTING SHALL BE IN COMPLIANCE WITH 2015 INTERNATIONAL AND LOCAL PLUMBING CODE.
- THIS PROJECT NEITHER OVERLOADS ANY EXISTING SYSTEM NOR CREATES/INCREASES ANY CODE NONCONFORMITY.
- ALL PIPING TO BE LABELED EVERY 15' MAX OR AT ALL CHANGES OF DIRECTION AND WHERE PIPING PASSES THROUGH A WALL. CONTRACTOR TO PROVIDE A VALVE TAG CHART.
- ALL DOMESTIC WATER VALVES TO BE LEAD FREE.

PLUMBING SYMBOL LIST AND FIRE PROTECTION ABBREVIATIONS ARE A GENERAL LIST OF SYMBOLS AND ABBREVIATIONS. ALL MAY NOT APPEAR AS PART OF PROJECT DOCUMENTS.	
PLUMBING ABBREVIATIONS	PLUMBING SYMBOLS
OF/CI OWNER FURNISHED CONTRACTOR INSTALLED	◁ REDUCER
CLG CEILING	— — UNION
DN DOWN	(E) EXISTING
UNO UNLESS NOTED OTHERWISE	○ PIPE UP
VIF VERIFY IN FIELD	← PIPE DOWN
(RE) RELOCATE EXISTING	— X— GATE VALVE
AFF ABOVE FINISHED FLOOR	— X— GLOBE VALVE
(E) EXISTING TO REMAIN	— X— CHECK VALVE
MFG MANUFACTURER	— X— BALL VALVE
GPM GALLONS PER MINUTE	— X— WATER HAMMER ARRESTER
ENT ENTERING	→ DIRECTION OF FLOW
LVG LEAVING	→ REDUCTION IN DIRECTION OF FLOW
NO. NUMBER	— X— MIXING VALVE
V-PH-HZ VOLTAGE-PHASE-HERTZ	⊕ METER
HP HORSEPOWER	— — SANITARY PIPING
# NUMBER	— — VENT PIPING
HD FT DYNAMIC HEAD IN FEET OF WATER	— — DOMESTIC COLD WATER
PD PRESSURE DROP IN INCHES OF WATER	— — DOMESTIC HOT WATER
PD FT PRESSURE DROP IN FEET OF WATER	— 140°F— DOMESTIC HOT WATER @140°F
'F DEGREES FAHRENHEIT	— — DOMESTIC HOT WATER RETURN
W WITH	— FW— FILTERED WATER
@ AT	— TW— TEMPERED WATER
FLR FLOOR	— FP— FIRE PROTECTION PIPING
TYP TYPICAL	— ST— STORM SYSTEM PIPING
RD ROOF DRAIN	— G— GAS PIPING
INT INTERNAL TRAP	— C— CONDENSATE DRAIN PIPING
EWT ENTERING WATER TEMPERATURE	— CG— COMPRESSED GAS PIPING
LWT LEAVING WATER TEMPERATURE	⊕ CONNECT TO EXISTING VERIFY LOCATION IN FIELD
(XXX) REFER TO EQUIPMENT VENDOR	○ ↓ CLEAN OUT
R RISER IDENTIFICATION	⊕ STACK IDENTIFICATION

NOTE: ANY EQUIPMENT NOTED AS "RELOCATE EXISTING" DAMAGED BY CONTRACTOR SHALL BE REPLACED IN KIND AT NO COST TO OWNER

PLUMBING FIXTURES								
Unit	Fixture	Description	cw	hw	vent	drain	WSFU	DFU
P-1	Water Closet	Tank Type/ Floor Mounted	1/2"	--	2"	3"	3	4
P-2	Lavatory	Drop in or Under Mount	1/2"	1/2"	1-1/2"	1-1/2"	2	2
P-3E	Hand Sink	Wall Mount	1/2"	1/2"	1-1/2"	1-1/2"	2	2

NOTES TO BIDDERS:

- ALL PARTIES USING THESE DOCUMENTS SHALL VERIFY AND BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND CONDITIONS PRIOR TO PREPARATION OF SPACE PLANNING OR CONSTRUCTION DOCUMENTATION, OR ACTUAL CONSTRUCTION OF ANY AREA.
- PRIOR TO SUBMISSION TO BID, CONTRACTOR SHALL VISIT PROJECT SITE AND CAREFULLY EXAMINE EXISTING CONDITIONS AND COMPARE THEM WITH ISSUED PLANS. CONTRACTOR TO ADVISE ARCHITECT AND ENGINEERING OF ANY DISCREPANCIES.
- SUBMITTAL OF BID SHALL INDICATE THAT CONTRACTOR HAS EXAMINED THE SITE, AND HAS INCLUDED ALL REQUIRED ALLOWANCES IN BID. NO ALLOWANCES SHALL BE MADE FOR ANY ERROR RESULTING FROM CONTRACTOR'S FAILURE TO VISIT JOB SITE.

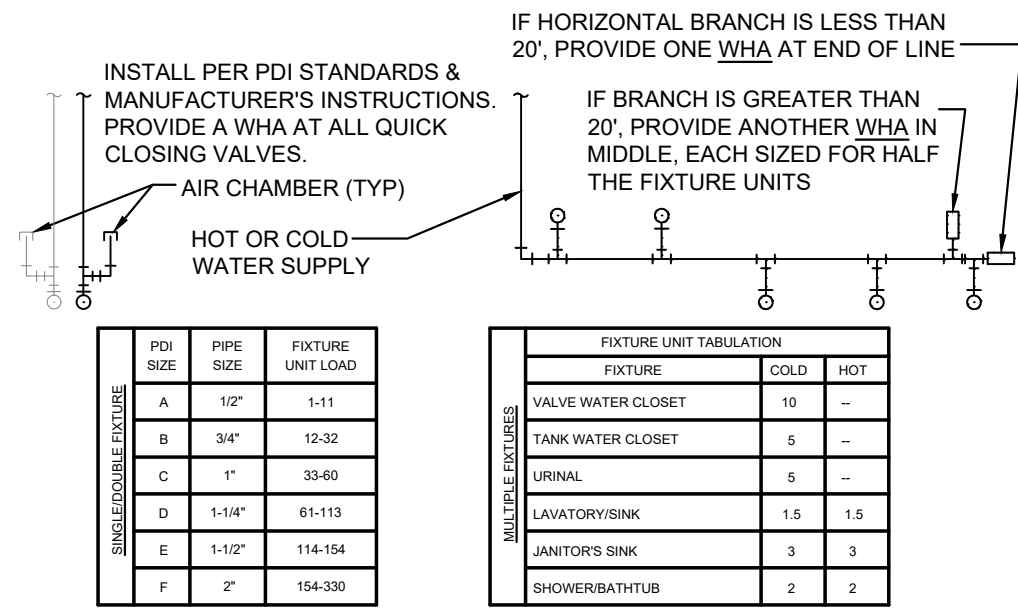
ALL WORK SHALL BE INSTALLED IN COMPLIANCE WITH:
"THE WEST NORRITON TOWNSHIP CODE" OF 2002
2015 INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2015 INTERNATIONAL FIRE CODE (IFC)
2015 INTERNATIONAL FUEL GAS CODE (IFGC)
2009 INTERNATIONAL PERFORMANCE CODE (ICCPC)
2015 INTERNATIONAL PLUMBING CODE (IPC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2009 INTERNATIONAL ELECTRICAL CODE (IEC)
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2015 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE (IWUC)
2009 ANSI A 117.1 (ADA)

GENERAL NOTES-REFER TO ARCHITECTURAL PLANS

- CONTRACTOR TO VERIFY ALL ELEVATIONS AND MILLWORK WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF WORK.
- CONTRACTOR TO REFER TO ARCHITECTURAL DRAWINGS FOR ELEVATIONS, MOUNTING HEIGHTS & SPECIFICATIONS.
- CONTRACTOR TO REFER TO ARCHITECTURAL DRAWINGS FOR WALL AND FLOOR RATINGS.

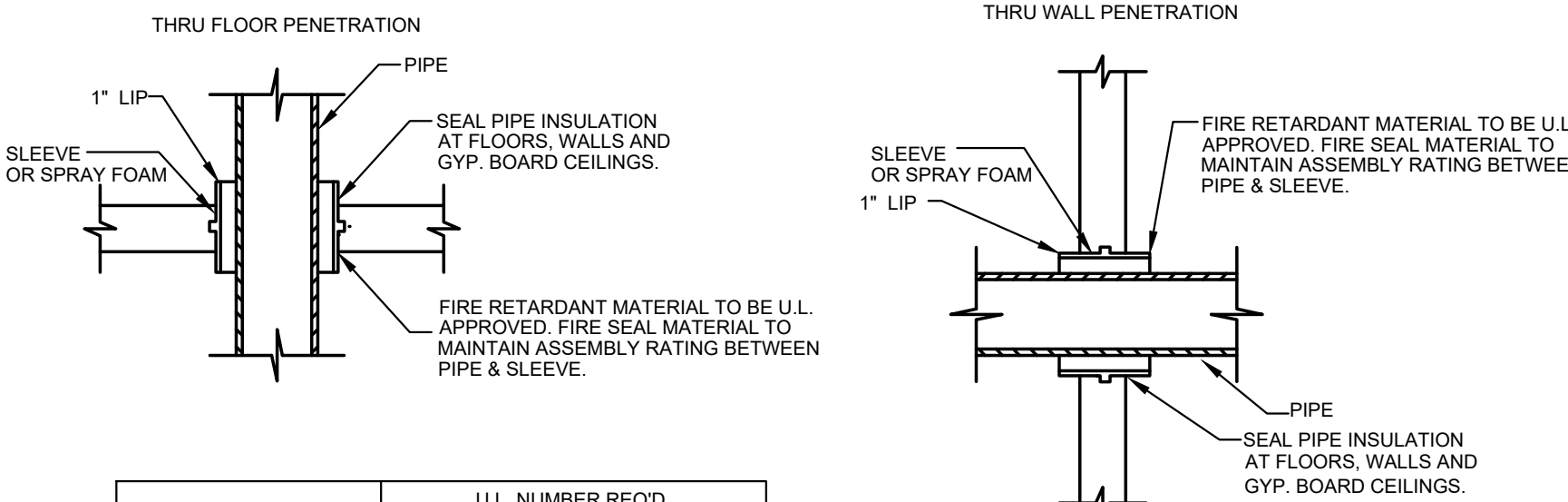
MATERIAL:

- ABOVE GROUND VENT AND DRAINAGE PIPING SHALL BE SOLID WALL PVC. PVC SOCKET FITTINGS, AND SOLVENT CEMENTED JOINTS. MECHANICAL JOINT ARE PROHIBITED. PVC PIPING SHALL BE SUPPORTED AT A MAX. 4'-0" IN HORIZONTAL SPACING AND A MAX. 10'-0" IN VERTICAL SPACING.
- UNDER GROUND VENT AND DRAINAGE PIPING SHALL BE SERVICE WEIGHT HUB AND SPIGOT CAST IRON CONFORMING TO ASTM A74, WITH LEAD AND OAKUM CAULKED JOINTS PER THE PHILADELPHIA PLUMBING CODE. MECHANICAL JOINT ARE PROHIBITED FOR UNDERGROUND APPLICATION.
- METALLIC TO PLASTIC PIPE MUST BE MADE AFTER THE FIRE RATED ASSEMBLY. JOINT BETWEEN PLASTIC AND CAST-IRON HUB PIPE SHALL BE MADE BY A CAULKED JOINT OR A MECHANICAL COMPRESSION JOINT. JOINT BETWEEN PLASTIC PIPE AND CAST-IRON HUBLESS PIPE SHALL BE MADE BY MECHANICAL JOINT OF COMPRESSION OR MECHANICAL SEALING TYPE.
- PEX PIPING AS ALLOWED PER THE PHILADELPHIA PLUMBING CODE AND AUTHORITY HAVING JURISDICTION. PEX PIPE SHALL BE SUPPORTED AT A MAX. 32" IN HORIZONTAL SPACING AND A MAX. 10'-0" IN VERTICAL SPACING. A GUIDE SHALL BE INSTALLED MIDWAY BETWEEN VERTICAL SUPPORTS TO PREVENT PIPE MOVEMENT IN A DIRECTION PERPENDICULAR TO THE AXIAL OF THE PIPE.
- PIPING OUTSIDE OF THE INDIVIDUAL DWELL UNITS SHALL BE ASTM B88 TYPE "L" COPPER TUBE WITH WROUGHT OR CAST COPPER FITTING AND LEAD FREE SOLDERED JOINTS. SOLDER JOINTS SHALL BE MADE IN ACCORDANCE WITH THE METHOD OF ASTM B828. COPPER PIPING SHALL BE SUPPORTED AT A MAX. 12'-0" IN HORIZONTAL SPACING AND A MAX. 10'-0" IN VERTICAL SPACING.
- JOINT BETWEEN PLASTIC PIPE AND COPPER SHALL BE MADE BY A MECHANICAL JOINT OF COMPRESSION OR MECHANICAL SEALING TYPE PER THE PHILADELPHIA PLUMBING CODE AND AUTHORITY HAVING JURISDICTION.



NOTE: FOR BATTERIES OF FIXTURES, PROVIDE WATER HAMMER ARRESTERS BY SIOUX CHIEF, PRECISION PLUMBING PRODUCTS, WATTS OR APPROVED EQUIVALENT WITH PISTON & ORING CONSTRUCTION, HAVING PDI #WH-201, ASSE #1018 AND #4112/26 IN CERTIFICATION. INSTALL IN HORIZONTAL OR VERTICAL POSITION, BUT NEVER UPSIDE DOWN. INSTALL IN LINE WITH WATER FLOW DIRECTION IF POSSIBLE. SIZE THE UNITS AS SHOWN ON THE DRAWINGS AND/OR PER THE TABLES SHOWN ABOVE. PROVIDE ACCESSIBILITY WHERE REQUIRED BY LOCAL CODE.

1 WATER HAMMER ARRESTOR
PO.1 SCALE: NTS



MATERIAL	U.L. NUMBER REQ'D		
	GYP-SUM WALL	CMU WALL	FLOOR
STEEL PIPE/STEEL PIPE INSULATION	428	594	272
COPPER PIPE/COPPER PIPE INSULATION	444	444	443
PVC PIPE/PVC PIPE INSULATION	442	442	429
	445	335	335

2 TYPICAL PIPE SLEEVE
PO.1 SCALE: NTS

REFER TO ARCHITECTURAL PLANS FOR WALL RATINGS.

HOT WATER HEATER						
UNIT NO.	DIMENSIONS	GAL	RECOVERY GPH AT 90°F	WATTAGE & AMP	MFG/MODEL (NOTE 1)	ACCESSORIES
HWH-1	24" DIAMETER	80	21	4.5 kW	BRADFORD WHITE RE350S8	T AND P RELIEF VALVE TO DRAIN PAN. SYSTEM EXPANSION TANK WATTS PLT-20. PROVIDE DRAIN PAN FOR HOT WATER HEATER. COORDINATE ELECTRICAL CONNECTIONS.

NOTE 1: CONTRACTOR TO CONFIRM WITH OWNER PRIOR TO ORDER.

PIPING LEGEND

SYMBOL	SERVICE	SIZE	MATERIAL	JOINTS	INSULATION	REMARKS
— CW —	DOMESTIC COLD WATER	ALL	PEX	PUSH-FIT	-	JOINTS SHALL CONFORM TO ASSE 1061 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS
— HW —	DOMESTIC HOT WATER	ALL	PEX	PUSH-FIT	-	JOINTS SHALL CONFORM TO ASSE 1061 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS
— CW —	DOMESTIC COLD WATER	ALL	COPPER TYPE "L" HARD	SOLDERED	3/4" FIBERGLASS	-
— HW —	DOMESTIC HOT WATER	ALL	COPPER TYPE "L" HARD	SOLDERED	1" FIBERGLASS	-
— S —	SANITARY	LESS THAN OR EQUAL 2-1/2"	SCHEDULE 40 SOLID CORE PVC	SOLVENT-CEMENT	-	SOLVENT CEMENT NOT PURPLE IN COLOR SHALL CONFORMS TO ASTM D2564, CSA B137.3, CSA B181.2 OR CSA B182.1
— S —	SANITARY	GREATER THAN 2-1/2"	SCHEDULE 40 SOLID CORE PVC	SOLVENT-CEMENT	-	SOLVENT CEMENT NOT PURPLE IN COLOR SHALL CONFORMS TO ASTM D2564, CSA B137.3, CSA B181.2 OR CSA B182.1
— V —	VENT	LESS THAN OR EQUAL 2-1/2"	SCHEDULE 40 SOLID CORE PVC	SOLVENT-CEMENT	-	SOLVENT CEMENT NOT PURPLE IN COLOR SHALL CONFORMS TO ASTM D2564, CSA B137.3, CSA B181.2 OR CSA B182.1
— V —	VENT	GREATER THAN 2-1/2"	SCHEDULE 40 SOLID CORE PVC	SOLVENT-CEMENT	-	SOLVENT CEMENT NOT PURPLE IN COLOR SHALL CONFORMS TO ASTM D2564, CSA B137.3, CSA B181.2 OR CSA B182.1
— S —	SANITARY	LESS THAN OR EQUAL 2-1/2"	COPPER TYPE "L" HARD	SOLDERED	-	INSTALL PER SECTION 705.3 OF THE 2015 IPC
— S —	SANITARY	GREATER THAN 2-1/2"	CAST IRON	CAULKED JOINTS	-	-
— V —	VENT	LESS THAN OR EQUAL 2-1/2"	COPPER TYPE "L" HARD	SOLDERED	-	INSTALL PER SECTION 705.3 OF THE 2015 IPC
— V —	VENT	GREATER THAN 2-1/2"	CAST IRON	CAULKED JOINTS	-	-
— C —	CONDENSATE	ALL	SCHEDULE 40 SOLID CORE PVC	SOLVENT-CEMENT	1/2" FIBERGLASS	SOLVENT CEMENT NOT PURPLE IN COLOR SHALL CONFORMS TO ASTM D2564, CSA B137.3, CSA B181.2 OR CSA B182.1

Clients:

IDSG llc.
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ANDREW J. SILVESTRE, PE
PA PROFESSIONAL ENGINEER NO. PE084363

Revisions:

Project:

INTERIOR RENOVATION

**910 DEKALB ST
NORRISTOWN, PA 19401**

Drawing Title:

PLUMBING COVER SHEET

Date:

Project No.:

Drawn By:

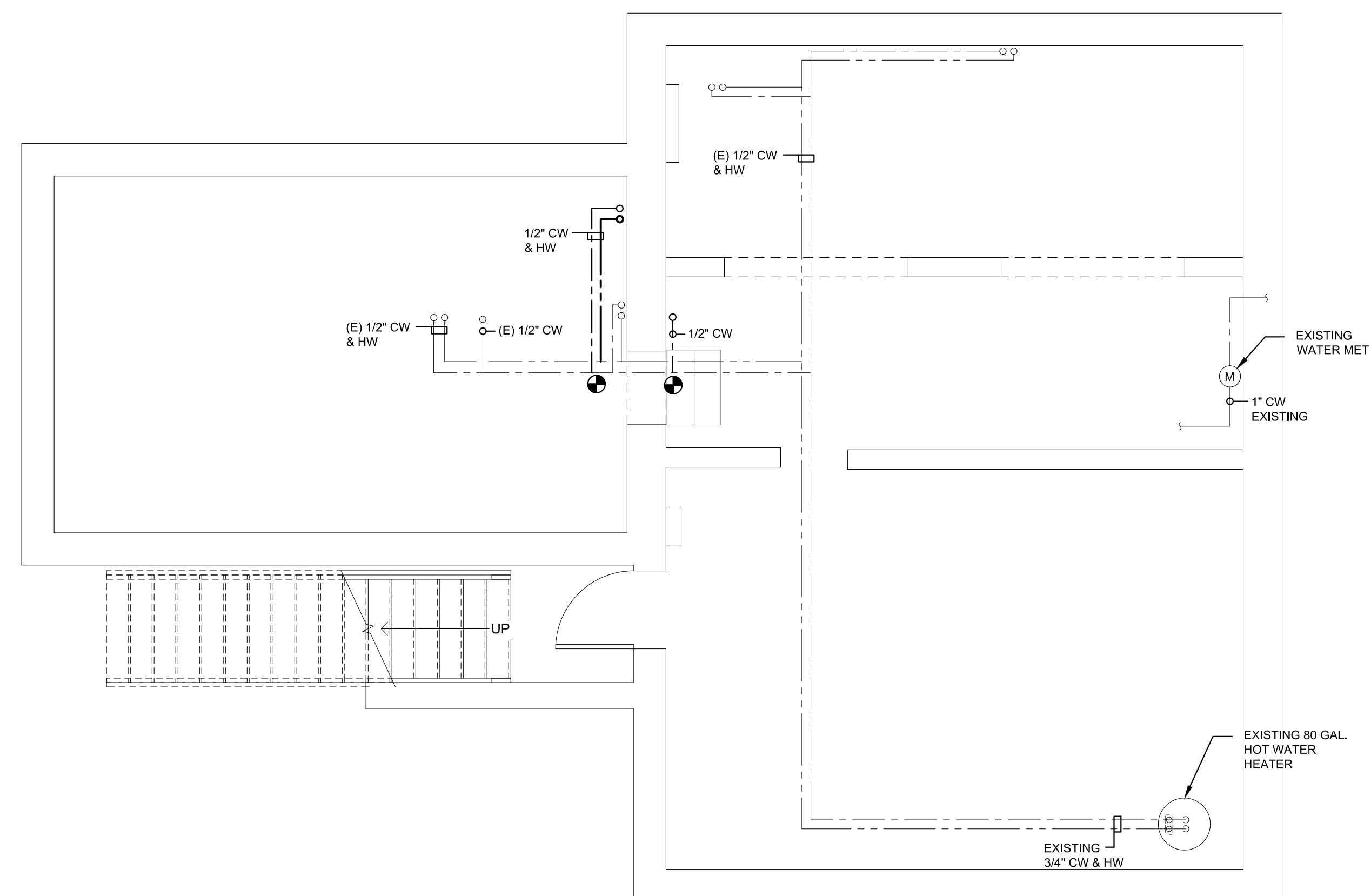
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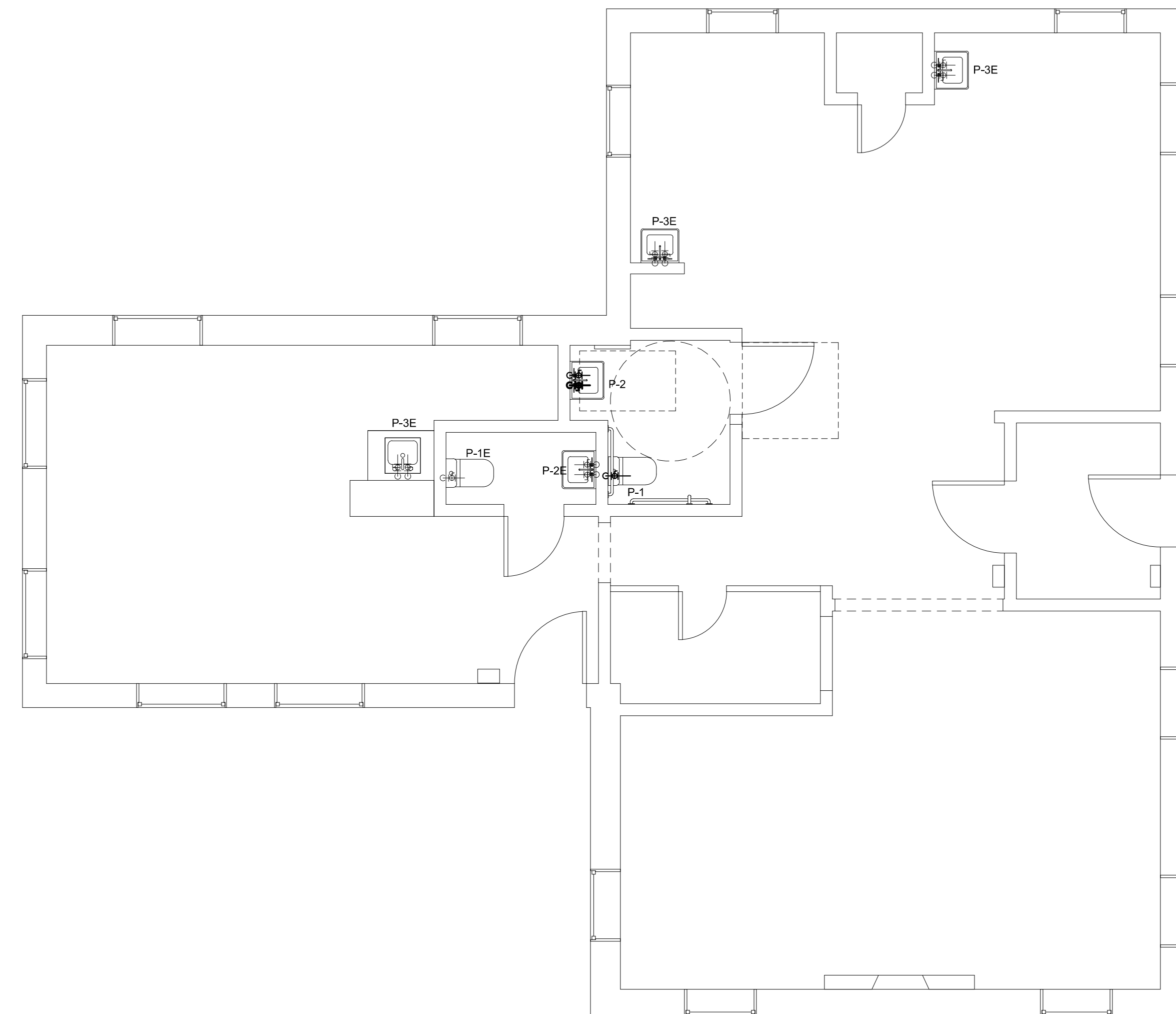
P0.1



ANDREW J. SILVESTRE, PE
PA PROFESSIONAL ENGINEER NO. PE084363



1 BASEMENT - DOMESTIC WATER
P1.0 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR - DOMESTIC WATER
P1.0 SCALE: 1/4" = 1'-0"

Revisions:

Project:
INTERIOR RENOVATION

910 DEKALB ST
NORRISTOWN, PA 19401

Drawing Title:
**FLOOR PLANS
DOMESTIC WATER**

Date:

Project No.:

Drawn By:

Checked By:

Drawing Number:

P1.0

Clients:



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Revisions:

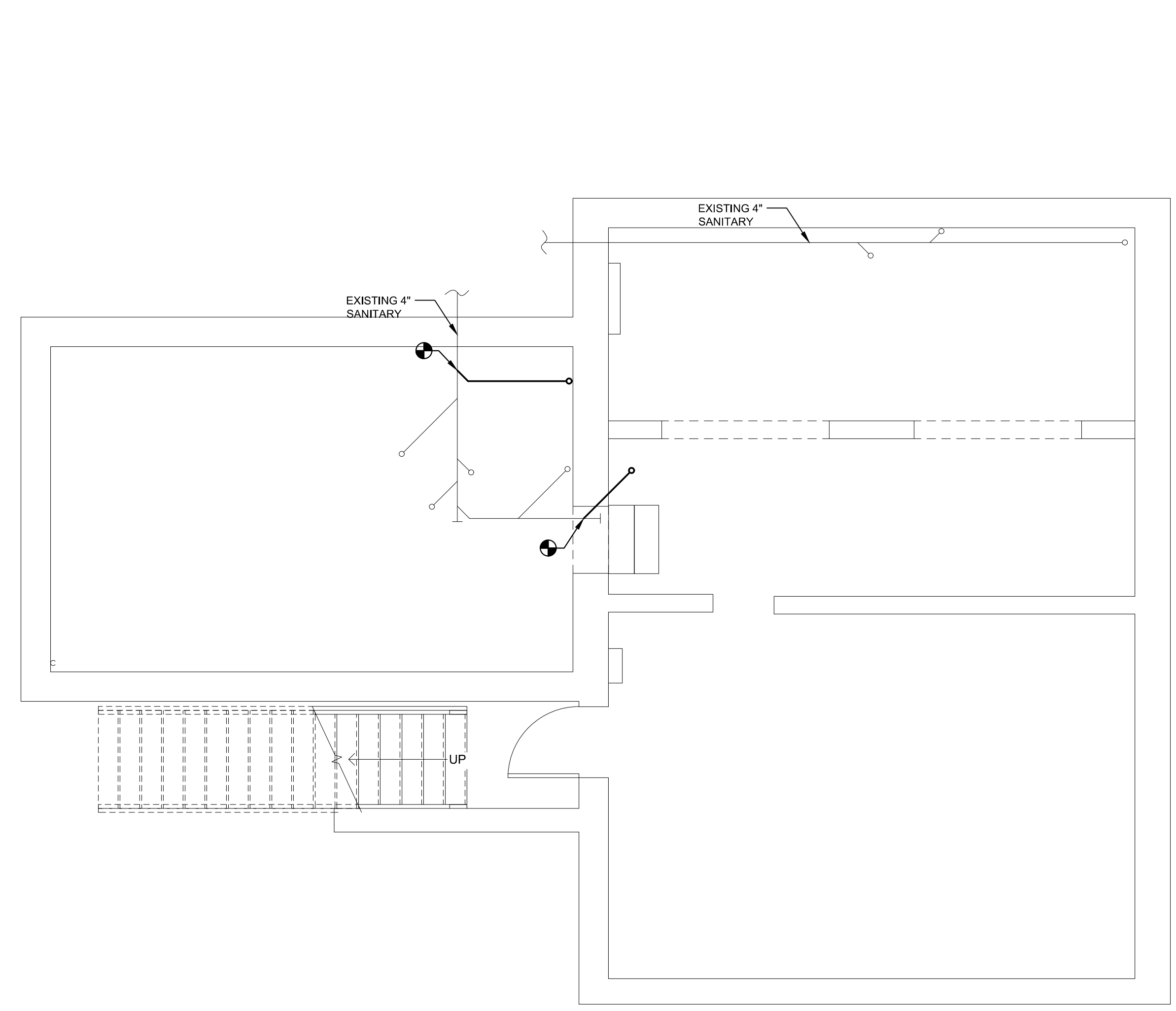
Project:
INTERIOR RENOVATION

**910 DEKALB ST
NORRISTOWN, PA 19401**

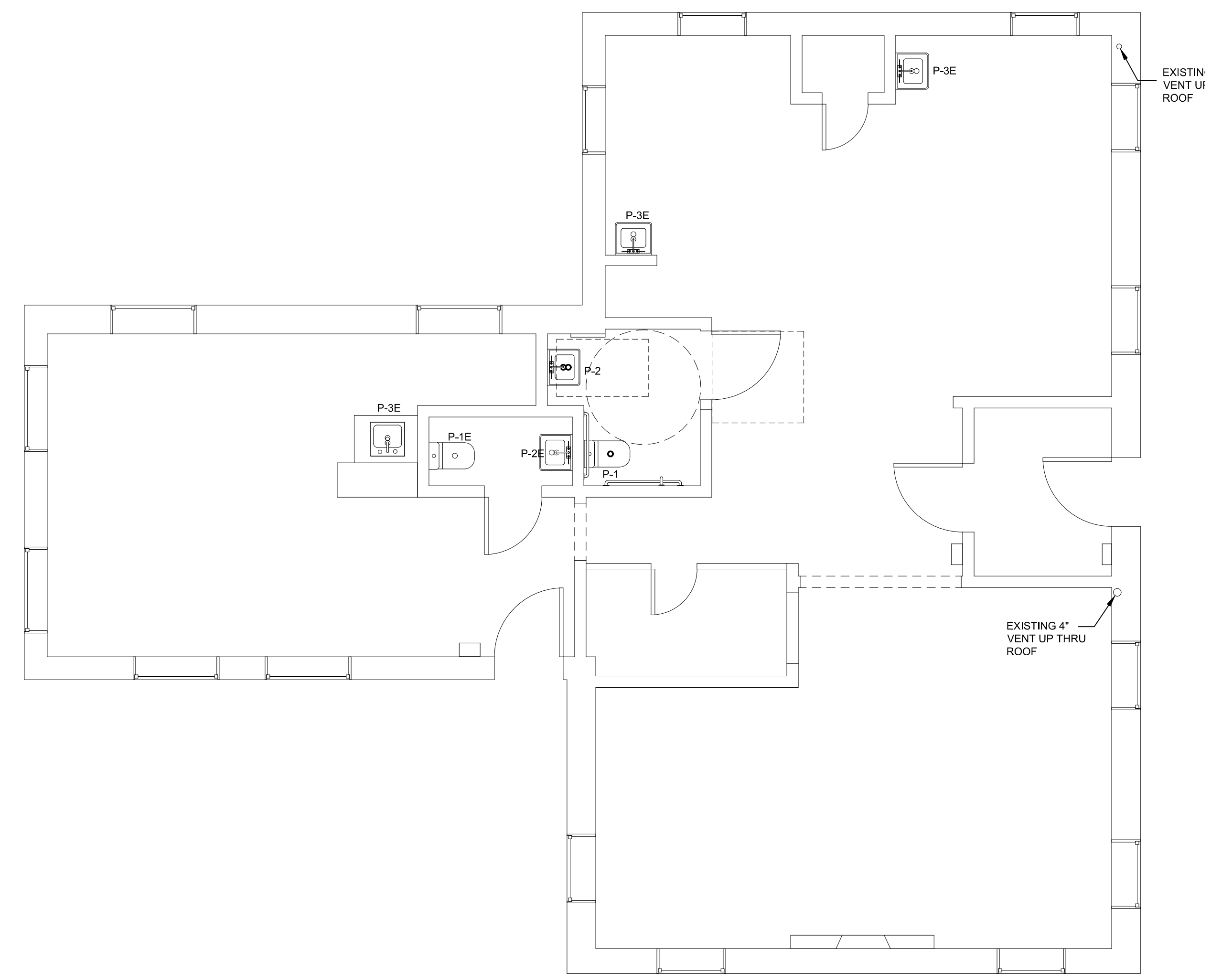
Drawing Title:
**FLOOR PLANS
SANITARY**

Date:
Project No.:
Drawn By:
Checked By:
Drawing Number:

P2.0



1 BASEMENT - SANITARY
P2.0 SCALE: 1/4"=1'-0"



2 FIRST FLOOR - SANITARY
P2.0 SCALE: 1/4"=1'-0"

ELECTRICAL SPECIFICATIONS

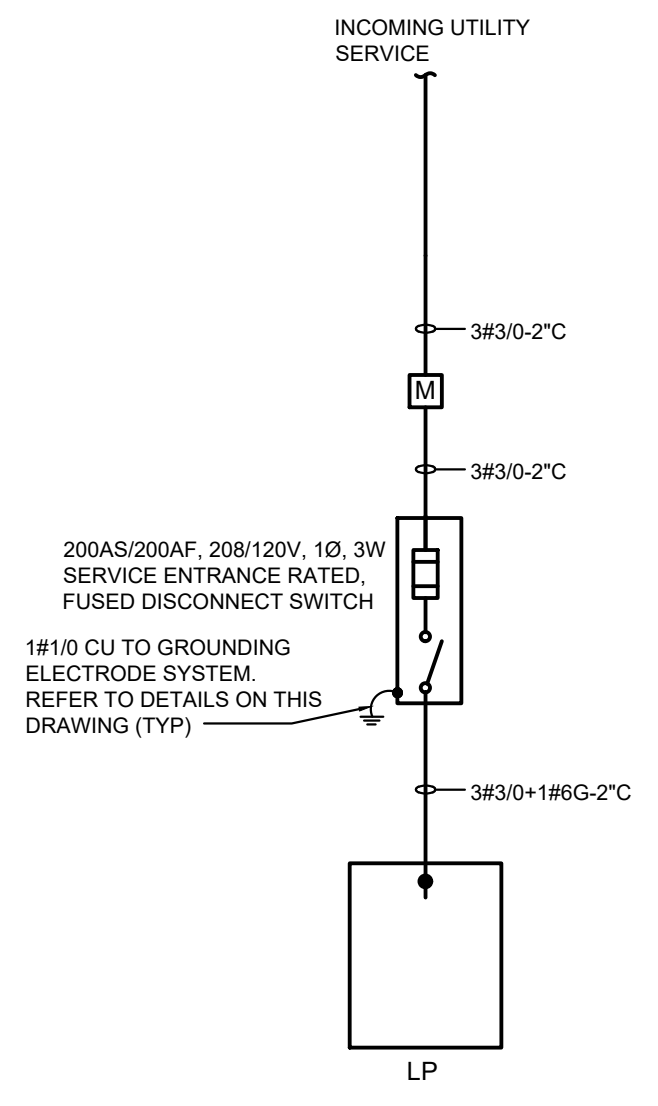
1.01 CODES AND STANDARDS

- A) ALL WORK AND EQUIPMENT SHALL BE SYSTEMATICALLY, CAREFULLY AND NEATLY PERFORMED AND SHALL CONFORM TO THE FOLLOWING STANDARDS:
1. 2015 IBC
2. 2014 NATIONAL ELECTRIC CODE
3. PHILADELPHIA BUILDING CODE
4. UNDERWRITERS LABORATORIES, INC.(UL)
5. OSHA AND ALL AGENCIES HAVING JURISDICTION

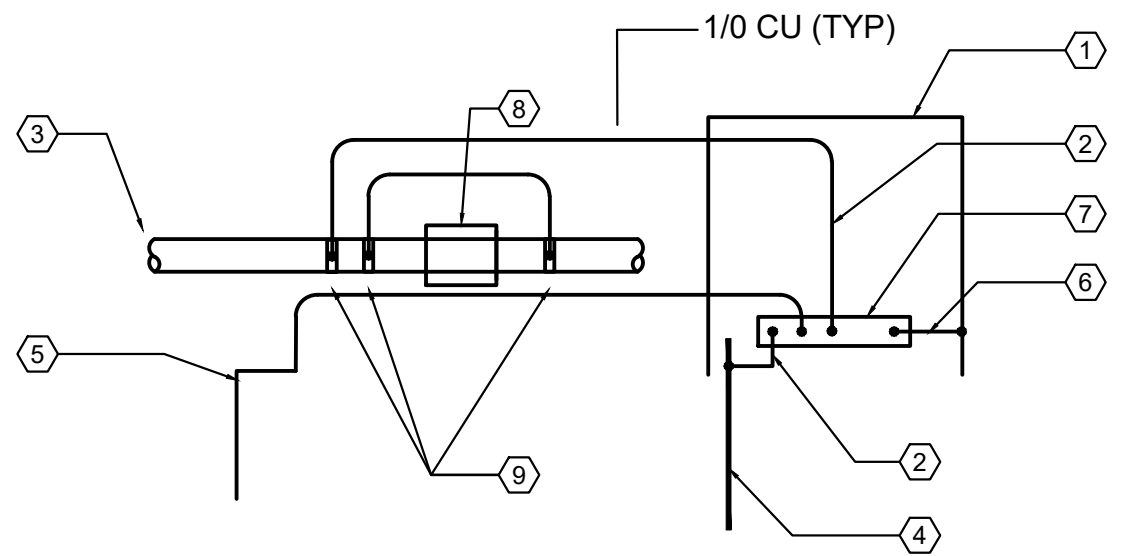
1.02 SCOPE OF WORK

- A) FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, INSURANCE PERMITS, AND INSPECTIONS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ELECTRICAL SYSTEMS AS SHOWN AND SPECIFIED. THE SCOPE OF WORK SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING:
1. UTILITY SERVICE
2. PANELBOARDS AND DISCONNECTS
3. LIGHTING AND POWER
4. TEMPORARY LIGHTING AND POWER DURING CONSTRUCTION.
B) PROVIDE ONE YEAR WRITTEN GUARANTEE ON ALL WORK PERFORMED.
C) CONTRACTOR SHALL PROVIDE ALL WORK NECESSARY FOR OBTAINING REQUIRED PERMITS.
1.03 RACEWAYS
A) RIGID GALVANIZED STEEL (RGS) CONDUIT SHALL CONFORM TO UL 6. FITTINGS SHALL BE THREADED.
B) ELECTRICAL METALLIC TUBING (EMT) SHALL CONFORM TO UL 797. FITTINGS SHALL BE GLAND AND RING COMPRESSION TYPE.
C) LIQUID TIGHT FLEXIBLE METAL CONDUIT SHALL CONFORM TO UL 360.
D) MINIMUM RACEWAY SIZE SHALL BE 3/4". PROVIDE GROUNDING OF ALL RACEWAYS AS REQUIRED BY THE PHILADELPHIA ELECTRIC CODE.
E) RACEWAY UTILIZATION SHALL BE AS FOLLOWS:
1. ELECTRICAL METALLIC TUBING (EMT) - INTERIOR CONCEALED AND EXPOSED DRY LOCATIONS.
2. LIQUID TIGHT FLEXIBLE CONDUIT - FINAL CONNECTIONS TO MOTORS MECHANICAL EQUIPMENT AND SYSTEMS FURNITURE.
3. ARMORED CABLE (MC OR AC WITH INSULATED GROUND CONDUCTOR) - BRANCH CIRCUITING IN CONCEALED LOCATIONS ONLY.
4. RIGID NONMETALLIC CONDUIT - WET LOCATIONS, INSTALLED AND EQUIPPED SO AS TO PREVENT WATER FROM ENTERING CONDUIT.
1.04 BOXES
A) OUTLET, PULL AND JUNCTION BOXES SHALL BE FABRICATED FROM STEEL AND CONFORM TO UL 50, UL 514 AND NEMA OS1.
B) BOXES SHALL BE SIZED AS REQUIRED BY CODE FOR NUMBER AND GAUGE OF CONDUCTORS THEREIN.
C) WIREWAYS AND AUXILIARY GUTTERS SHALL BE TWO-PIECE STEEL CONSTRUCTION WITH ANSI 61 GRAY ENAMEL FINISH.
1.05 FASTENERS
A) PROVIDE METALLIC EXPANSION SHIELDS AND MACHINE BOLTS, INSERTS, TOGGLE BOLTS, LAG SCREWS OR BOLTS, ANCHORS, BOLTS WITH NUTS AND WASHERS, SHIMS OR ANY OTHER TYPE OF FASTENING DEVICES REQUIRED TO FASTEN PANELS OR OTHER EQUIPMENT TO FLOORS, WALLS OR CEILINGS.
1.06 WIRES, CABLES, SPLICES AND TERMINATIONS
A) POWER AND CONTROL WIRING SHALL BE COPPER, MINIMUM 98% CONDUCTIVITY, WITH TYPE THHN/THWN INSULATION RATED 600 VOLTS.
B) METAL CLAD CABLE SHALL BE 90°C RATED CODE TYPE ACTHH WITH A SEPARATE GREEN INSULATED GROUND CONDUCTOR IN ACCORDANCE WITH UL 4.
C) CONDUCTORS SHALL BE COLOR CODED AS FOLLOWS:
208/120V
BLACK A
RED B
BLUE C
WHITE NEUTRAL
GREEN GROUND
D) CONDUCTOR SIZES SHALL BE INCREASED WHERE REQUIRED BY CODE AND/OR THE ENGINEER TO COMPENSATE FOR VOLTAGE DROP AND HIGH AMBIENT TEMPERATURE.
E) SPLICES FOR WIRE SIZES #8 AWG AND SMALLER SHALL BE MADE WITH WIRE NUTS AND TAPE.
1.07 WIRING DEVICES
A) WIRING DEVICES SHALL BE GROUNDING TYPE 15 OR 20 AMPERE, 125V VOLTS - COLOR AS SELECTED BY ARCHITECT.
REQUIRED BY CODE.
FACEPLATES SHALL BE PLASTIC.
LOCAL SWITCHES SHALL BE 20 AMPERE, 120 VOLT FLUSH TUMBLER QUIET OPERATION SINGLE, THREE WAY AND FOUR WAY AS REQUIRED.
1.08 BRANCH CIRCUIT PANELBOARDS
A) BRANCH CIRCUIT PANELBOARDS SHALL BE 208/120V, 3Ø, 4-WIRE CONFIGURATION WITH COPPER BUS BARS, NEUTRAL BUS AND SEPARATE GROUND BUS BONDED TO PANEL ENCLOSURE.
B) CIRCUIT BREAKERS SHALL BE MOLDED CASE, PLUG-IN WITH THERMAL-MAGNETIC TRIP ELEMENT.
C) PANEL BOARD ENCLOSURES SHALL BE GALVANIZED CODE GAUGE STEEL.
D) FURNISH AND INSTALL TYPEWRITTEN DIRECTORIES FOR EACH PANELBOARD, NEW AND EXISTING, INDICATING DEVICES SERVED.
1.09 METER CENTERS
A) ENCLOSURES SHALL BE CONSTRUCTED OF FORMED & WELDED CODE GAUGE GALVANIZED STEEL.
B) ALL DEVICES MUST BE BONDED TOGETHER WITH BOLTED CONNECTIONS.
C) COORDINATE METER TYPE WITH UTILITY COMPANY.
D) ALL COMPONENTS SHALL BE FACTORY ASSEMBLED AND ALL CURRENT CARRYING PARTS SHALL BE PLATED BUSBARS.
1.10 SAFETY SWITCHES
A) SAFETY DISCONNECT SWITCHES SHALL BE 250V OR 600V AS REQUIRED, HORSEPOWER RATED, QUICK MAKE-QUICK BREAK DESIGN.
2. PRIOR TO ANY ELECTRICAL OR CONDUIT INSTALLATION, CONTRACTOR WILL VERIFY SERVICE REQUIREMENTS WITH THE UTILITY CO.
3. RECONNECT ALL EXISTING CIRCUITS INTO NEW PANEL.
1.11 GROUNDING
A) THE DISTRIBUTION SYSTEM SHALL BE COMPLETELY AND PROPERLY GROUNDING USING APPROVED FITTINGS.
B) METAL RACEWAYS, METAL ENCLOSURES OF ELECTRICAL DEVICES AND OTHER EQUIPMENT SHALL BE COMPLETELY GROUNDING IN AN APPROVED MANNER.
C) GROUND RODS SHALL BE 3/4 X 10'-0" COPPERWELD TYPE WITH EXOTHERMICALLY WELDED CONNECTIONS.
1.12 CUTTING AND PATCHING
A) ALL CUTTING AND PATCHING REQUIRED FOR EQUIPMENT INCLUDED IN THESE SPECIFICATIONS SHALL BE DONE BY THIS CONTRACTOR.
B) THIS CONTRACTOR SHALL NOT DO ANY CUTTING THAT MAY IMPAIR THE STRENGTH OF BUILDING CONSTRUCTION.
1.13 SEALING OF PENETRATIONS
A) ALL PENETRATIONS OF WALLS, FLOORS OR CEILINGS MUST BE SEALED IN AN APPROVED MANNER USING AN OUTER CIRCUMFERENTIAL SLEEVE FILLED INSIDE AND OUT.
B) ALL PENETRATIONS OF FIRE RATED WALLS, FLOORS OR CEILINGS SHALL BE SEALED WITH APPROVED MATERIAL TO PROVIDE SAME RATING AS FLOOR, WALL OR CEILING ASSEMBLY.
1.14 HANGERS AND SUPPORTS
A) THREADED RODS SHALL BE FULLY GALVANIZED, MINIMUM 3/8" DIAMETER.
B) SUPPORTS SHALL BE SIZED TO ACCOMMODATE THE LOAD REQUIRED.
CLIENTS:
INTEGRATED DESIGN SOLUTION GROUP, LLC
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PA PROFESSIONAL ENGINEER NO. PE084363
REVISIONS:
PROJECT:
INTERIOR RENOVATION
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NORRISTOWN, PA 19401
DRAWING TITLE:
ELECTRICAL COVER SHEET
DATE:
PROJECT NO.:
DRAWN BY:
CHECKED BY:
DRAWING NUMBER:
E0.1

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1 SINGLE LINE DIAGRAM
SCALE: NTS

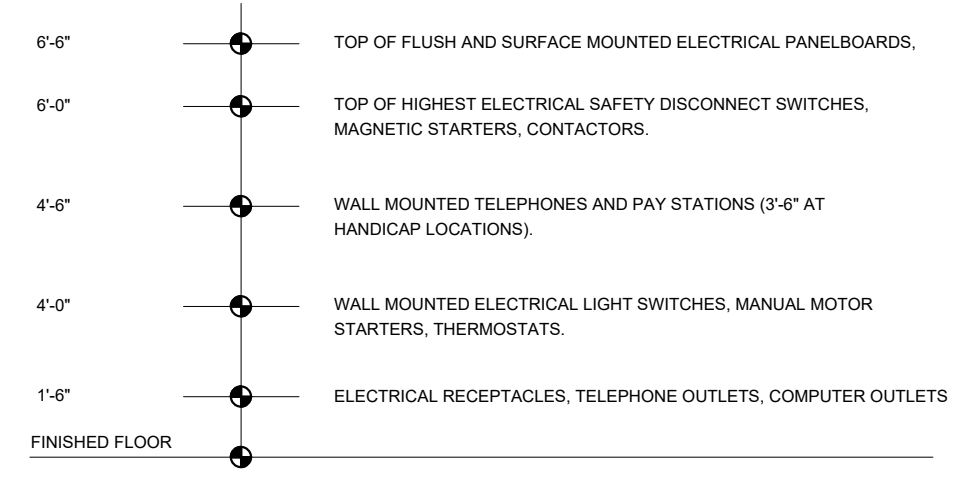


- NOTES:
1 SERVICE EQUIPMENT ENCLOSURE
2 GROUNDING ELECTRODE CONDUCTOR
3 COLD WATER GROUNDING ELECTRODE (U.G. METAL PIPE)
4 GROUNDING ELECTRODE - 3/4"x10' COPPER CLAD GROUND ROD(S)
5 GROUNDING ELECTRODE (BUILDING STEEL/REBAR)
6 BOND TO ENCLOSURE
7 NEUTRAL BUS
8 WATER METER WITH JUMPER
9 BRONZE CLAMP (ONE PER JUMPER CABLE)

2 GROUNDING ELECTRODE SYSTEM
SCALE: NTS

Table with columns for PANEL, LOCATION, BUILDING, FED FROM, FEEDER SIZE, LOAD (VA), PER PHASE (VA), DESCRIPTION OF LOAD, TRIP AMPS, and CKT NO. Includes summary rows for MULT FACTOR and SPARE FACTOR.

ELECTRICAL SYMBOL LIST table with columns for SYMBOL, LIGHTING, SWITCHES, RECEPTACLES, SERVICE EQUIPMENT, and COMMUNICATION SYSTEMS.



- NOTES:
1. MOUNTING HEIGHTS TO CENTER OF OUTLETS UNLESS OTHERWISE NOTED.
2. THE ABOVE MOUNTING HEIGHTS SHALL BE ADHERED TO UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE ON THE DRAWINGS OR SPECIFICATIONS.

Clients:



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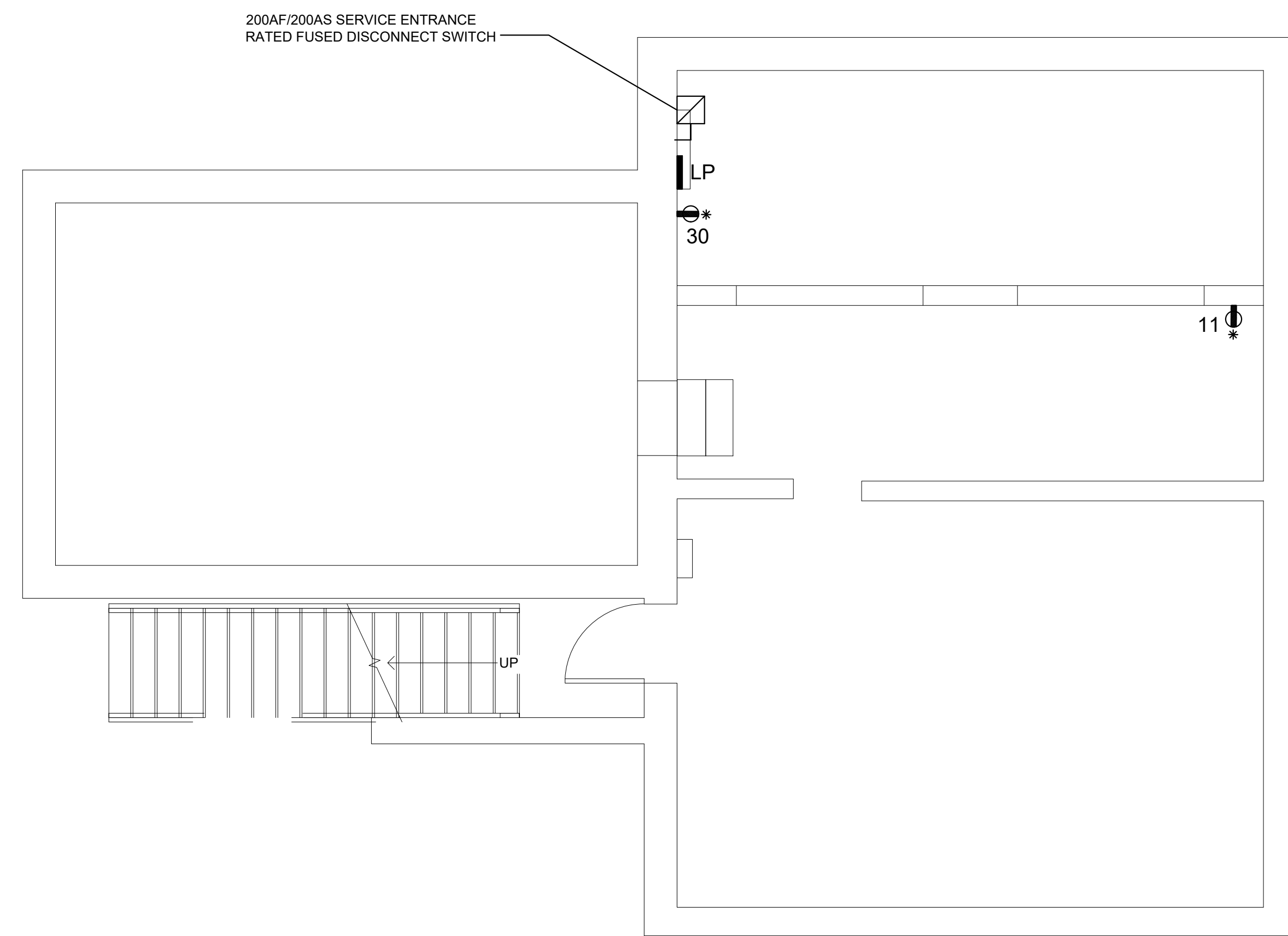
ANDREW J. SILVESTRE, PE
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DRAWING NOTES

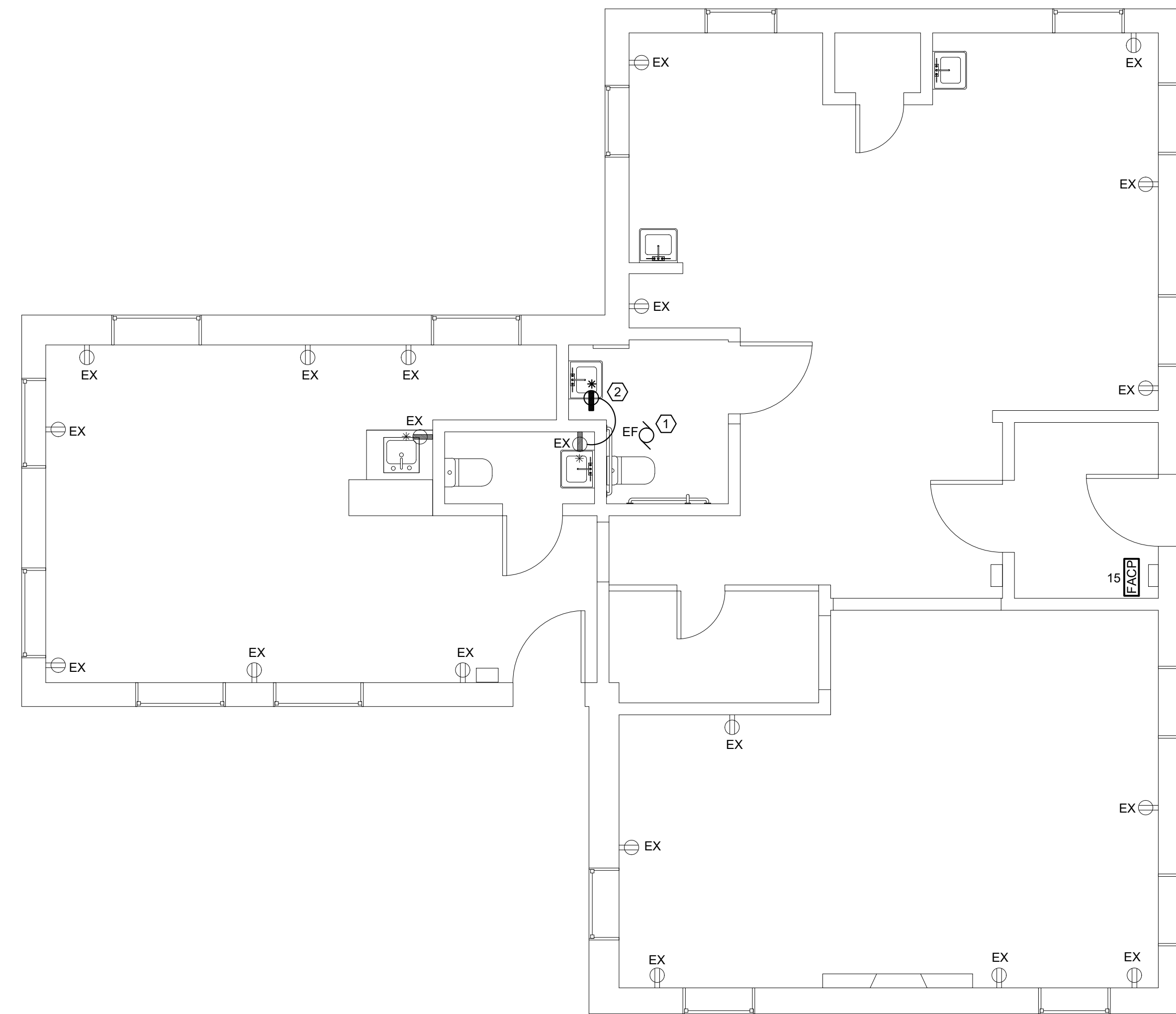
- 1. ALL CIRCUITS SHOWN SHALL BE WIRED TO PANEL LP.

KEYED NOTES:

- ① CONNECT TO BATHROOM LIGHTING CIRCUIT AND LIGHTING CONTROL DEVICE.
- ② CONNECT TO EXISTING BATHROOM RECEPTACLE CIRCUIT.



1 BASEMENT - POWER
E1.0 SCALE: 1/4"=1'-0"



2 FIRST FLOOR - POWER
E1.0 SCALE: 1/4"=1'-0"

Revisions:

Project:

INTERIOR RENOVATION

**910 DEKALB ST
NORRISTOWN, PA 19401**

Drawing Title:

**ELECTRICAL
POWER PLANS**

Date:

Project No.:

Drawn By:

Checked By:

Drawing Number:

E1.0

Clients:



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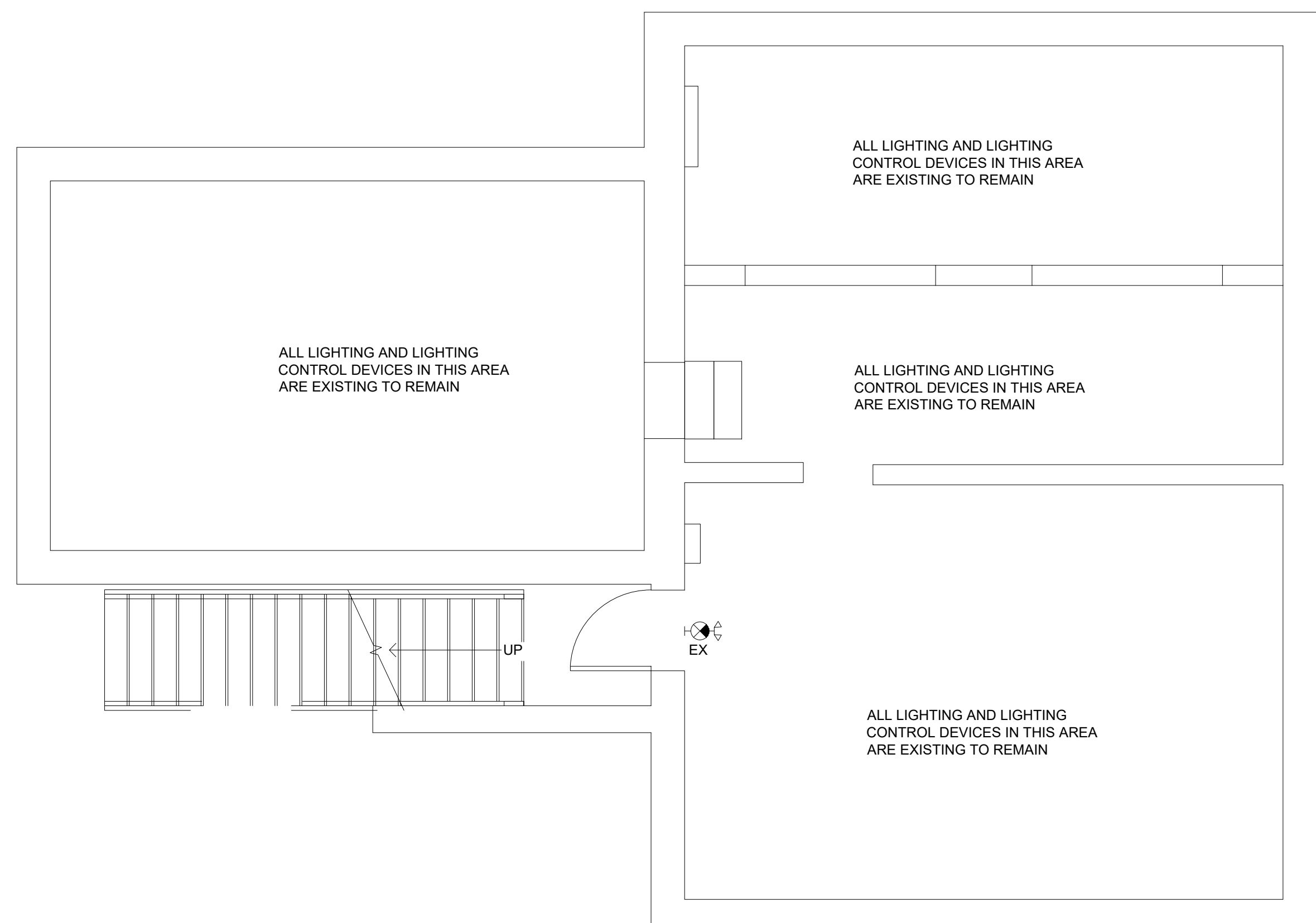
ANDREW J. SILVESTRE, PE
PA PROFESSIONAL ENGINEER NO. PE084363

DRAWING NOTES

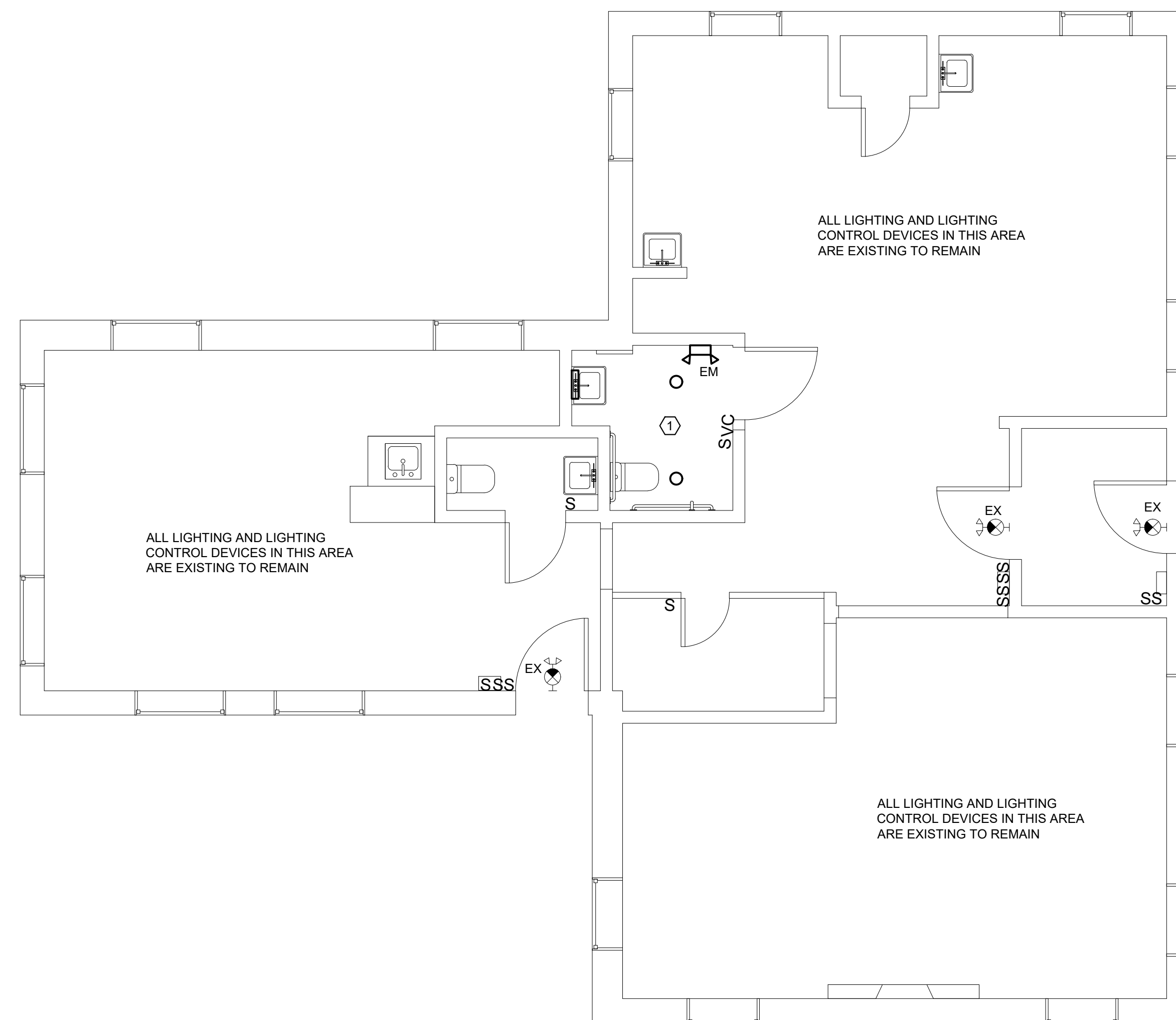
1. ALL EMERGENCY LIGHTING AND EXIT LIGHTING SHALL BE WIRED TO THE SAME CIRCUIT SERVING THE AREA.
2. REFER TO ARCHITECTURAL PLANS FOR LIGHTING FIXTURE TYPES AND SPECIFICATIONS. ALL FIXTURES SHALL BE PROVIDED WITH LED LAMPS.

KEYED NOTES:

- ① CONNECT TO EXISTING LIGHTING CIRCUIT SERVING THE AREA.



① BASEMENT - LIGHTING
E2.0 SCALE: 1/4" = 1'-0"



② FIRST FLOOR - LIGHTING
E2.0 SCALE: 1/4" = 1'-0"

Revisions:

Project:

INTERIOR RENOVATION

**910 DEKALB ST
NORRISTOWN, PA 19401**

Drawing Title:

ELECTRICAL LIGHTING PLANS

Date:

Project No.:

Drawn By:

Checked By:

Drawing Number:

E2.0



Technology that saves lives

Conventional Fire Alarm Systems

FX-10RD, FX-10R, FX-5RD, FX-5F

Overview

Kidde brand conventional fire alarm systems consist of 5 and 10 zone fire alarm control panels (FACP), an optional integrated... (text continues)

Standard Features

- Available in 5 and 10 zone (IG) models
• ClearView™ feature provides remote annunciation of a dirty detector
• Automatic drift compensation with select detectors reduces false alarms and extends drift life
• Listed to ANSUL 864 10th Edition
• Models with fully integrated upload/download DACT enables PC programming
• Zone or NAC pairs convertible to single Class A circuits
• Combination Initiator and Supervisory (CIS)
• NACs programmable by zone and individually selectable for notification appliances, continuous, temporal outputs, or coded
• On-board relay for alarm, supervisory and trouble
• Precision synchronization with compatible notification appliances and optional audible silence over two wires
• On-board relay for alarm, supervisory and trouble
• Optional serial bus relay modules are programmable for Common, Zone, or Matrix activation
• Optional serial bus remote annunciator family
• One person walk-test (audible or silent)
• Optional City Tie and Reverse Polarity Modules
• Trim ring available for semi-flush mounting

Table with 2 columns: Model, Features (Class B IGCC, Class A NAC, Class A NAC, NAC Power, Auxiliary power)

Page 1 of 8

DATA SHEET K80005-0126



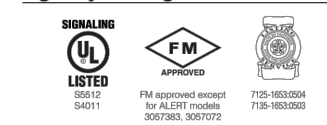
Indoor Selectable-Output Horns, Strobes, and Horn Strobes for Wall Applications

System Sensor L-Series audible visible notification products are rich with features guaranteed to cut installation times and maximize profits with lower current draw and modern aesthetics.

Features

- Updated Modern Aesthetics
• Small profile devices for Horns and Horn Strobes
• Plug-in design with minimal intrusion into the back box
• Temp-resistant construction
• Automatic selection of 12- or 24-volt operation at 15 and 30 canopies
• Face-selectable canopies settings on wall units: 15, 30, 75, 95, 110, 135, and 155
• Horn rated at 88+ dBA at 16 volts
• Rotary switch for horn tone and two volume selections
• Mounting plate for all standard and all compact wall units
• Mounting plate allowing spring checks wiring continuity before device installation
• Electrically compatible with legacy SpectraAlert and SpectraAlert Advance devices
• Compatible with MDA 3-type module
• Strobes and Horn Strobes based for wall mounting only
• Home listed for wall or ceiling use

Agency Listings



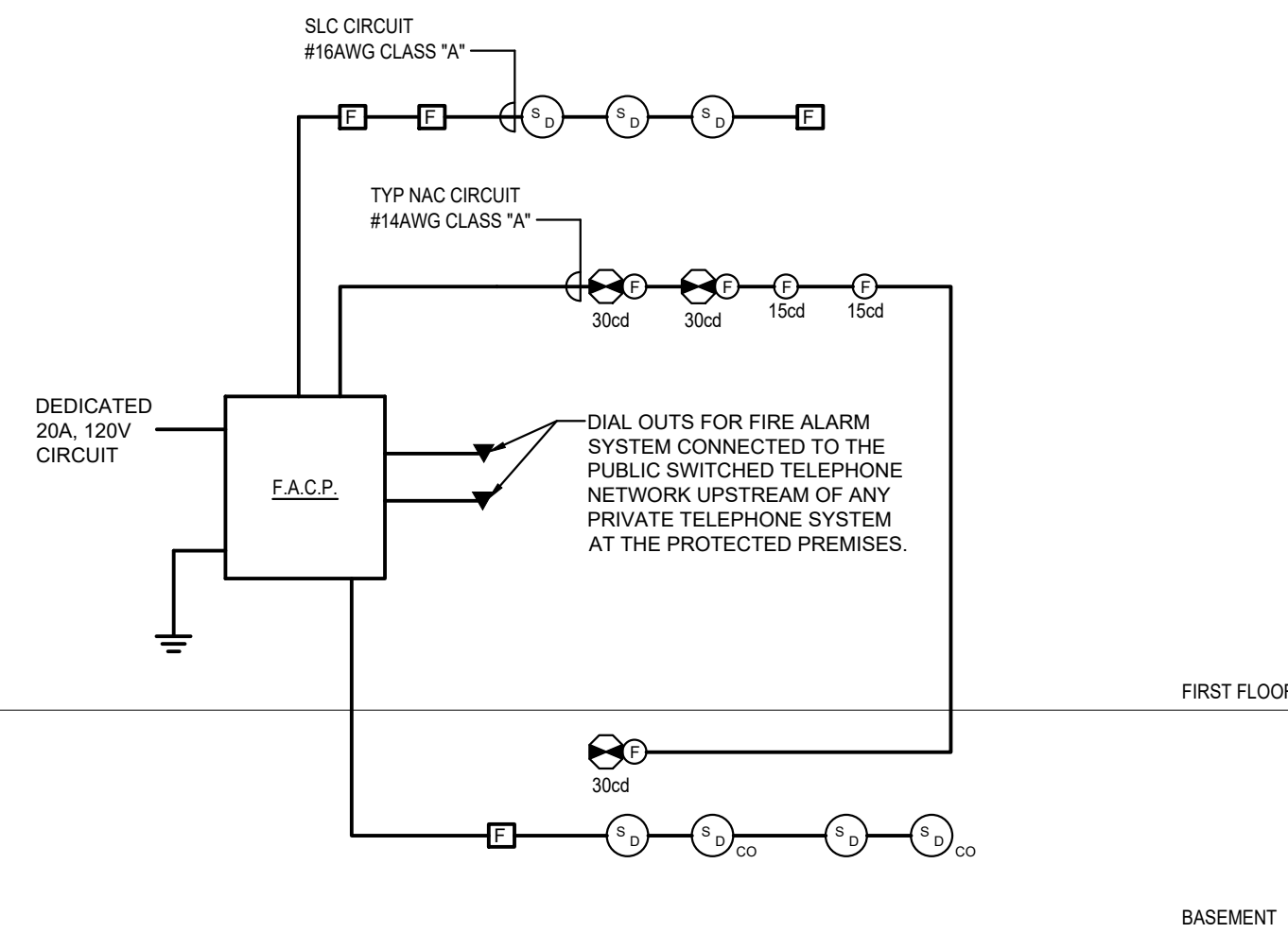
The System Sensor L-Series offers the most versatile and easy-to-use line of horns, strobes, and horn strobes in the industry with lower current draw and modern aesthetics.

The L-Series line of wall-mount horns, strobes, and horn strobes includes a variety of features that increase their application versatility while simplifying installation.

To further simplify installation and protect devices from construction damage, the L-Series offers a universal mounting plate for all models with an onboard springing, so installers can test wiring continuity before the device is installed.

Installers can also easily adapt devices to a suit a wide range of application requirements using field-selectable canopy settings, automatic selection of 12- or 24-volt operation, and a rotary switch for horn tones with two volume selections.

FIRE ALARM SYMBOL LIST table with columns for symbol and description (SMOKE DETECTOR, CO DETECTOR, etc.)



3 FIRE ALARM RISER DIAGRAM

E0.1 SCALE: NTS

- 1. THE CONTRACTOR SHALL PROVIDE THE FIRE ALARM SYSTEM AS REQUIRED AND AS INDICATED IN PLANS AND SPECIFICATIONS.
2. PROVIDE SMOKE DETECTORS WHERE INDICATED.
3. PROVIDE COMBINATION STROBE/HORNS AND STROBES FOR BUILDING FIRE ALARM SYSTEM (GENERAL EVACUATION) WHERE INDICATED.
4. PROVIDE MANUAL PULL STATIONS WHERE INDICATED.
5. ALL BOXES AND CONDUITS SHALL BE FIELD PAINTED RED.
6. ALL WIRING SHALL BE CLASS "A" UON.
7. DETECTOR LAYOUT IS CONCEPTUAL. CONTRACTOR SHALL PROVIDE DETAILED DESIGN TO MEET CRITERIA STATED FOR APPROVAL BY OWNER'S UNDERWRITER AND LOCAL JURISDICTIONAL AUTHORITIES.
8. DETECTOR LAYOUT SHALL BE COORDINATED WITH ARCHITECTURAL REFLECTED CEILING PLAN AND BUILDING CONDITIONS.
9. REFER TO PLANS FOR QUANTITIES AND LOCATIONS OF DEVICES.
10. ALL FIRE ALARM CABLE SHALL BE PLENUM RATED, PROVIDE 3/4" FROM OUTLET TO ABOVE CEILING FOR NEW SIGNAL DEVICES.
11. THE CONTROL PANEL SHALL BE CONNECTED TO A 120VAC, 60HZ POWER SUPPLY PER ARTICLE 760 OF THE NATIONAL ELECTRICAL CODE.
12. 120VAC POWER SUPPLY AND 24VDC BATTERY SUPPLY SHALL BE DISCONNECTED PRIOR TO SERVICING THE SYSTEM
13. FIRE ALARM PANELS SHALL BE CONNECTED TO EARTH GROUND PER ARTICLE 760 OF THE NATIONAL ELECTRIC CODE.
14. WIRING SHALL BE NUMBERED, MARKED, OR COLOR CODED.
15. WHEN SHIELDED CABLE IN METAL RACEWAY IS UTILIZED, THE WIRING SHIELDS SHALL ONLY BE CONNECTED AT THE POINT OF ORIGIN, AS SPECIFIED.
16. ALL WIRING SHALL BE APPROVED AND COMPATIBLE FOR USE WITH FIRE ALARM SYSTEMS WITH 1500 CELSIUS INSULATION.



Photoelectric Smoke Detectors

System Sensor P-Series smoke detectors represent significant advancement in conventional detection. The P family is founded on three principles: installation ease, intelligence, and instant inspection.

Features

- Plug-in detector line, mounting base included
• Large wire entry port
• In-line terminals with 3EMS covers
• Mount to corrugated and angle-gang back boxes, 4-square back boxes, or direct to ceiling
• Stop-Drop Lock attachment to base
• Removable detector cover and chamber
• Built-in remote maintenance signaling
• Drift compensation and smoothing algorithms
• Simplified sensitivity measurement
• Wide-angle, dual-color LED indication
• Loop testing via EZ Walk feature
• Built-in test switch

Installation ease. The P-line redefines installation ease with its plug-in design. This allows an installer to pre-wire bases included with heads. The large wire entry port and in-line terminals provide ample room for neatly routing the wiring inside the base.

Intelligence. P detectors offer a number of intelligent features to simplify testing and maintenance. Drift compensation and smoothing algorithms are standard with the P-line to minimize nuisance alarms. Two-wire P detectors can generate a remote LED-indicated maintenance signal when connected to the 2W-MAC22 loop test/maintenance module or a panel equipped with the P protocol. The SENS-ROCK, a wireless device, displays the sensitivity of P detectors in terms of percent per foot obscuration.

Instant inspection. The P-series provides wide-angle red and green LED indicators for instant inspection of the detector's condition normal standby, out-of-sensitivity, alarm, or freeze trouble. When connected to the 2W-MAC22 loop test/maintenance module or a panel with the P protocol, the EZ Walk loop test feature is available on 2-wire P detectors. This feature verifies the initiating loop wiring by providing LED status indication at each detector.

Agency Listings



BG-12 Series Manual Fire Alarm Pull Stations



General

The Fire-Lite BG-12 Series is a cost-effective, feature-packed series of non-coded, manual fire alarm pull stations. It was designed to meet multiple applications with the installer and end-user in mind.

Features

- Aesthetically pleasing, highly visible design and color
• Attractive contoured shape and light textured finish
• Meets UL 36, Standard for Manually Actuated Signaling Boxes
• Easily operable (single- or dual-action), yet designed to prevent false alarms when bumped, shaken, or jarrred
• PUSH/PULL/DOWN handle indicates in the down position to clearly indicate the station has been operated
• The word "ACTIVATE" appears on top of the handle in bright yellow, further indicating operation of the station
• Operation handle features white arrow showing basic operation direction for non-English-speaking persons
• Break-in test included on finger-hold area of operation handle and across top of handle
• Multiple face and key-lock models available
• U.S. patented face lock, made only a quarter-turn to lock/unlock
• Station can be opened for inspection and maintenance without initiating an alarm
• The word "NORMAL" and "ACTIVATE" are molded into the plastic adjacent to the alarm switch (located inside)
• Four-point terminal and molded into backplate
• Terminal strip includes Philips combination-head captive 8/32 screws for easy connection to existing Device Circuit (DC)
• Terminal cover backed-out at factory and shipped ready to accept field wiring up to 12 AWG/3.0 mm²
• Terminal numbers are molded into the backplate, eliminating the need for labels
• Switch contacts are normally open
• Can be surface-mounted (with SB-10 or SB-40) or semi-flush mounted. Semi-flush mount to a standard angle-gang, double-gang, or 4" (10.16 cm) square electrical box
• Backplate is large enough to overlap a single-gang backbox cutout by 1/2" (1.27 cm)
• Optional trim ring (BOLT-TR)
• Spanish version (FREGO) available (BG-12LSP BG-12LSP)
• Designed to replace the Fire-Lite legacy BG-10 Series
• Models packaged in attractive, clear plastic (PVC), clam-shell-type, push-out-mounting package. Packaging includes a cutaway dustpan cover in shape of pull station.

Construction

- Cover, backplate and operation handle are all molded of durable polycarbonate material
• Cover features white lettering and trim
• Red color matches System Sensor's popular SpectraAlert Advance horn/strobe series

Operation

The BG-12 manual pull stations provide a textured finger-hold area that includes Break-In test. In addition to PUSH and PULL/DOWN test, there are arrows indicating how to operate the station, provided for non-English-speaking people. Pushing in and then pulling down on the handle activates the normally open alarm switch. Once latched in the down position, the word "ACTIVATE" appears at the top in bright yellow, with a portion of the handle protruding at the bottom as a visible flag. Resetting the station is simple: insert the key, twist one quarter-turn, then open the station's front cover, closing the spring-loaded operation handle to return to its original position. The alarm switch can then be reset to its normal (forward) position manually by hand or by closing the station's front cover, which automatically resets the switch.

DF-8200A1 • 04/02/08 — Page 1 of 2

CIRCUIT #1 Point to Point Method, End of Line Method, Load Centering Method tables with columns for Totals, Current, Voltage, Distance, etc.

Table with columns: ITEM, DESCRIPTION, STANDBY CURRENT PER UNIT (AMPS), QTY, TOTAL STANDBY CURRENT PER ITEM, ALARM CURRENT PER UNIT (AMPS), QTY, TOTAL ALARM CURRENT PER ITEM

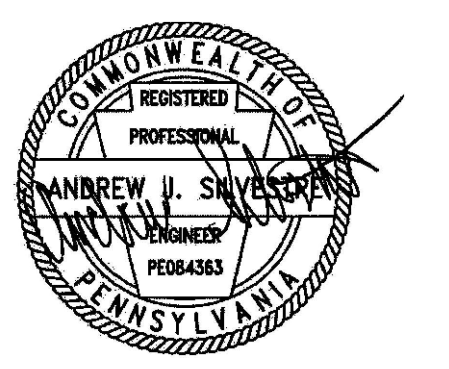
Table with columns: REQUIRED STANDBY TIME (HRS), TOTAL SYSTEM STANDBY CURRENT (AMPS), REQUIRED STANDBY CAPACITY (AMP-HOURS), REQUIRED ALARM TIME (HOURS), TOTAL SYSTEM ALARM CURRENT (AMPS), REQUIRED ALARM CAPACITY (AMP-HOURS)

Table with columns: REQUIRED STANDBY CAPACITY (AMP-HOURS), REQUIRED ALARM CAPACITY (AMP-HOURS), TOTAL CAPACITY (AMP-HOURS), TOTAL CAPACITY (AMP-HOURS), SAFETY FACTOR, ADJUSTED BATTERY CAPACITY (AMP-HOURS)

Clients:



ENGINEERS OF MECHANICAL PLUMBING & ELECTRICAL SYSTEMS. 444 E. TOWNSHIP LINE RD. PO BOX 1467 HAVERTOWN, PA 19083 484-450-6054 integrateddesignsolution.llc@gmail.com



ANDREW J. SILVESTRE, PE PA PROFESSIONAL ENGINEER NO. PE084363

Revisions:

Project:

INTERIOR RENOVATION

910 DEKALB ST NORRISTOWN, PA 19401

Drawing Title:

FIRE ALARM COVER SHEET

Date:

Project No.:

Drawn By:

Checked By:

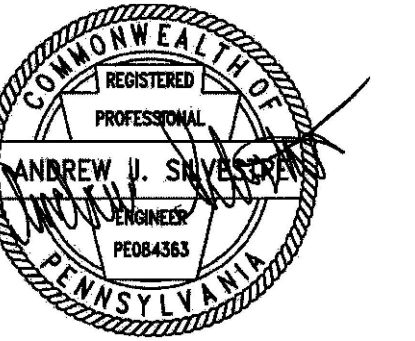
Drawing Number:

FA0.1

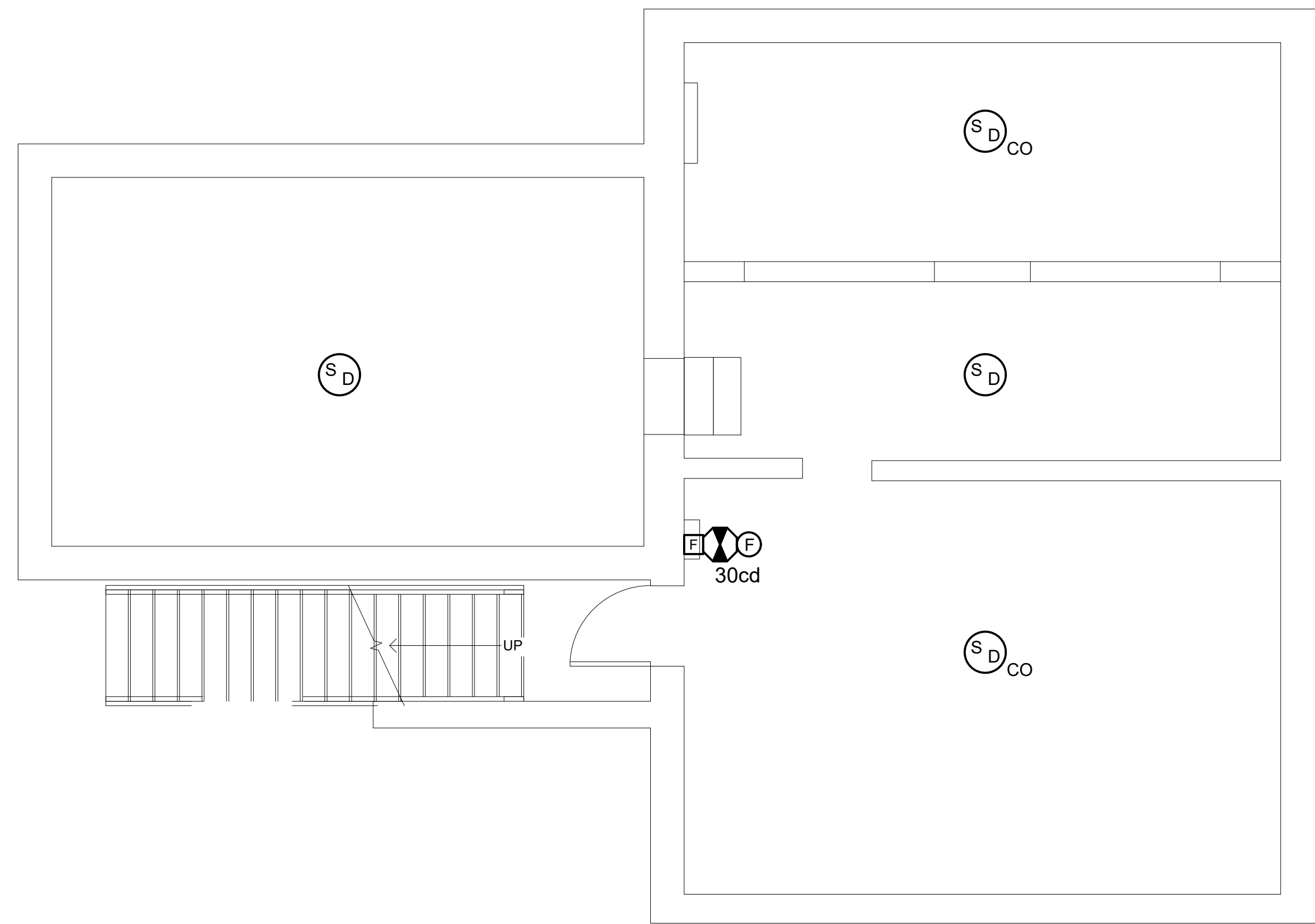
Clients:



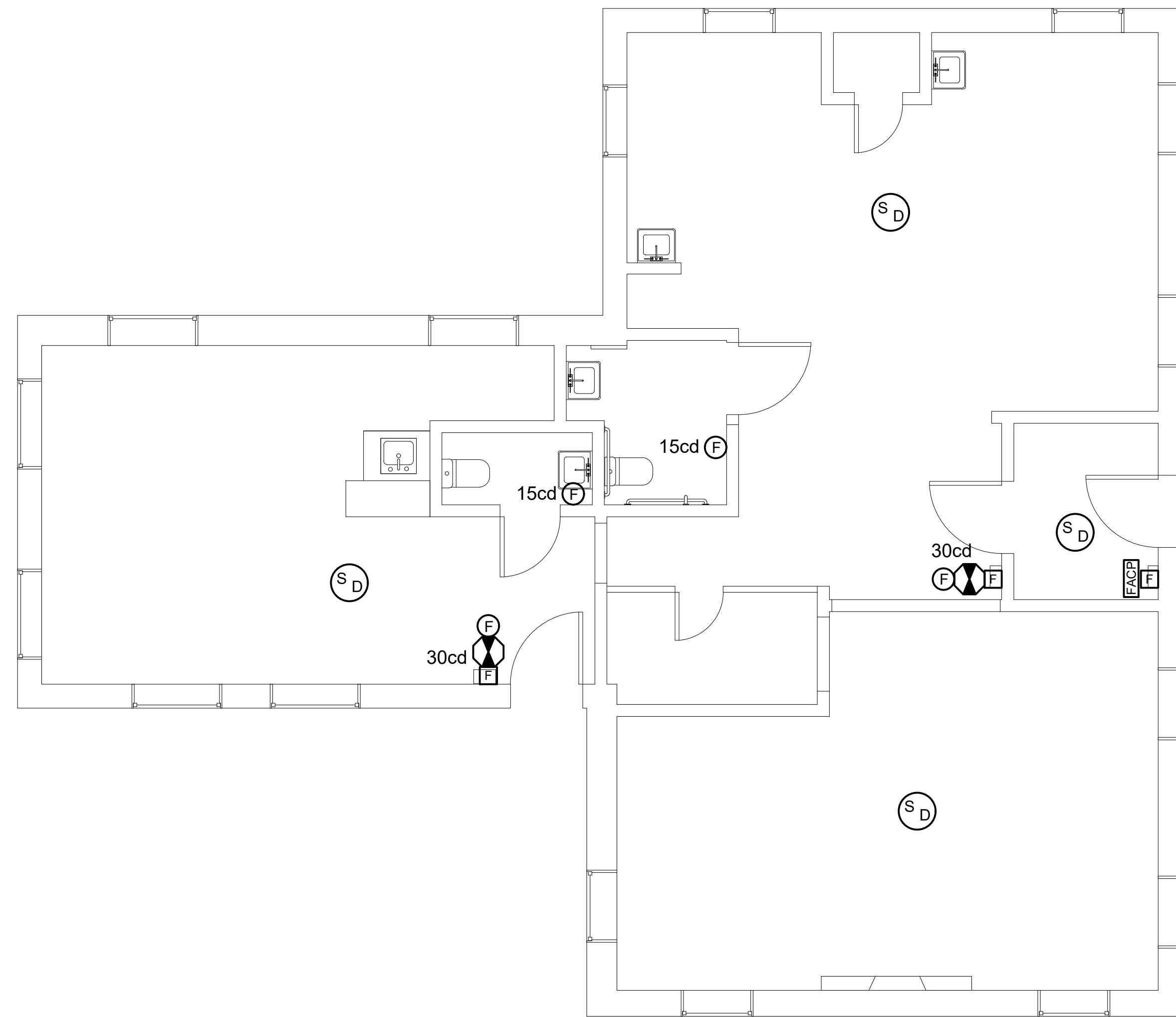
Integrated Design Solution Group, LLC
ENGINEERS OF MECHANICAL PLUMBING & ELECTRICAL SYSTEMS.
444 E. TOWNSHIP LINE RD.
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HAVERTOWN, PA 19083
484-450-6054
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ANDREW J. SILVESTRE, PE
PA PROFESSIONAL ENGINEER NO. PE084363



1 BASEMENT - FIRE ALARM
FA100 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR - FIRE ALARM
FA100 SCALE: 1/4" = 1'-0"

Revisions:

Project:

INTERIOR RENOVATION

**910 DEKALB ST
NORRISTOWN, PA 19401**

Drawing Title:

FIRE ALARM FLOOR PLANS

Date:

Project No.:

Drawn By:

Checked By:

Drawing Number:

FA1.0



Municipality of Norristown
 Department of Building & Code Enforcement
 235 E Airy Street, Norristown, PA 19401
 Phone: (610) 270-0441 Fax (610) 279-7548



Plan Review Application

2 sets of plans are required and will be returned to the Applicant. Please complete all applicable sections.

Application Date: 09/04/2020 Applicant Name (Print): Lamar Hasben

Property Information			
Location of Proposed Work or Improvement:		910 DEKALB ST. NORRISTOWN PA. 19401	
Parcel Number:	Lot Number:	Phase:	
Subdivision/Land Development:		Section:	
Describe Current Building Use:		OFFICE	
Current Building Use Group:	Residential: <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 (Single-Family & Two-Family Dwellings) <input type="checkbox"/> R-4*		
	Commercial: <input type="checkbox"/> A-1 <input type="checkbox"/> A-5 <input type="checkbox"/> F-2 <input type="checkbox"/> H-4 <input type="checkbox"/> I-3* <input type="checkbox"/> S-2		
	<input type="checkbox"/> A-2 <input checked="" type="checkbox"/> B <input type="checkbox"/> H-1 <input type="checkbox"/> H-5 <input type="checkbox"/> I-4 <input type="checkbox"/> U		
	<input type="checkbox"/> A-3 <input type="checkbox"/> E <input type="checkbox"/> H-2 <input type="checkbox"/> I-1* <input type="checkbox"/> M		
	<input type="checkbox"/> A-4 <input type="checkbox"/> F-1 <input type="checkbox"/> H-3 <input type="checkbox"/> I-2* <input type="checkbox"/> S-1		
Building Uses with an (*) must have a condition identified.			
Condition: <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5			

Property Owner Information			
Property Owner Name:	QORE DEVELOPMENT INC.	Date:	09/04/2020
Mailing Address:	6538 N. 16TH ST. PHILA. PA. 19126		
Email:	LHASBEN@GMAIL.COM	Phone:	(267) 231-3904
		Fax:	

Contractor Information			
Contractor Name:		Date:	
Mailing Address:			
Email:		Phone:	
		Plant:	
		non-ch:	

Type of Work or Improvement	
Type of Work:	<input type="checkbox"/> New Building <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Repair <input type="checkbox"/> Change of Use <input type="checkbox"/> Other
Plans to be Reviewed:	<input checked="" type="checkbox"/> Building <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> Fire <input type="checkbox"/> Mechanical <input type="checkbox"/> Accessibility
Describe Proposed Work: Use extra sheets if needed	Proposed one ADA compliant bathroom in existing vacant office. Legalized the existing office space, and legalized new fire alarm system

Change in Use

Describe the Proposed Use of the Building:	No Changed
Proposed Building Use Group:	<p>Residential: <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 (<i>Single-Family & Two-Family Dwellings</i>) <input type="checkbox"/> R-4*</p> <p>Commercial: <input type="checkbox"/> A-1 <input type="checkbox"/> A-5 <input type="checkbox"/> F-2 <input type="checkbox"/> H-4 <input type="checkbox"/> I-3* <input type="checkbox"/> S-2</p> <p style="padding-left: 40px;"><input type="checkbox"/> A-2 <input type="checkbox"/> B <input type="checkbox"/> H-1 <input type="checkbox"/> H-5 <input type="checkbox"/> I-4 <input type="checkbox"/> U</p> <p style="padding-left: 40px;"><input type="checkbox"/> A-3 <input type="checkbox"/> E <input type="checkbox"/> H-2 <input type="checkbox"/> I-1* <input type="checkbox"/> M</p> <p style="padding-left: 40px;"><input type="checkbox"/> A-4 <input type="checkbox"/> F-1 <input type="checkbox"/> H-3 <input type="checkbox"/> I-2* <input type="checkbox"/> S-1</p> <p>Building Uses with an (*) must have a condition identified.</p> <p>Condition: <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5</p>

If we have any questions regarding the submitted plans, or for pick-up of the plans and payment of the plan review fees who shall we contact?

Property Owner Contractor Other: (*Please provide the contact person's name and contact information*)

Contact Name: Hsing-Yuan Chen, AIA, LEED AP Phone: 646-236-0666

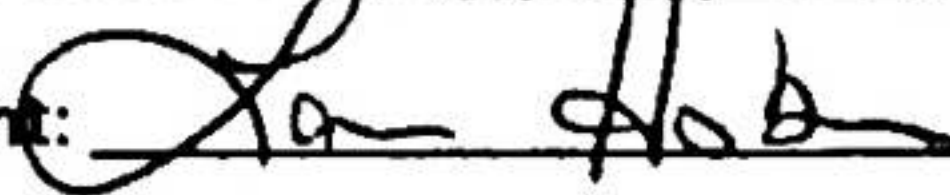
Email Address: sky@sky-ds.com Fax: _____

APPROVAL OF ANY PLANS SUBMITTED FOR PLAN REVIEW IS NOT A PERMIT TO START WORK. PRIOR TO ANY WORK BEING CONDUCTED AT THE PROPERTY LOCATION THE APPLICANT MUST SUBMIT A PERMIT APPLICATION FOR APPROVAL AND PAY THE REQUIRED PERMIT FEES.

I understand that this application is for the purposes of plan review only. The information provided in this Application is true and correct to the best of my knowledge, information and belief and that these statements are made subject to the penalties of 18 Pa. C.S.A. Section 4904 relating to unsworn falsification to authorities. The undersigned is the owner of said structure or has been authorized by the owner(s) to act as agent in procuring the building permit herein requested. The undersigned also takes full responsibility for all work performed and will comply with all provisions of the Zoning Ordinance, the Building Code and with all applicable ordinances of Norristown.

ALL PLAN REVIEW FEES MUST BE PAID IN FULL BEFORE PLANS ARE RELEASED.

Name of Property Owner/Authorized Agent (Please Print): LAMAR HASBEN

Signature of Property Owner/Authorized Agent:  Date: 09/04/2020

Plan Reviewer Use Only

Signature of Building Plan Reviewer:	<input type="checkbox"/> Approved <input type="checkbox"/> Rejected Fee: \$ _____
Signature of Electrical Plan Reviewer:	<input type="checkbox"/> Approved <input type="checkbox"/> Rejected Fee: \$ _____
Signature of Plumbing Plan Reviewer:	<input type="checkbox"/> Approved <input type="checkbox"/> Rejected Fee: \$ _____
Signature of Mechanical Plan Reviewer:	<input type="checkbox"/> Approved <input type="checkbox"/> Rejected Fee: \$ _____
Signature of Accessibility Plan Reviewer:	<input type="checkbox"/> Approved <input type="checkbox"/> Rejected Fee: \$ _____
Signature of Fire Plan Reviewer:	<input type="checkbox"/> Approved <input type="checkbox"/> Rejected Fee: \$ _____
Contact Called: _____ / _____ / _____	Total Fees Due: \$ _____

Terms & Conditions

Registration: All persons interested in bidding on this property must complete a registration form, agree to the terms and conditions of the auction sale, and submit the required registration deposit.

Deposit: A \$5,000.00 deposit via wire transfer or cashier's check made payable to Wm. F. Comly & Son, Inc. is required in order to participate in the teleconference auction. The Auction Company must receive the deposit by 4:00 PM on Tuesday, May 11, 2021. Cashier's checks may be mailed to our office at 1825 E. Boston Street, Philadelphia, PA 19125. If you prefer to send the deposit via wire transfer, please contact the auction office at 215-634-2500 for wire instructions. The deposit is refundable unless you are the high bidder or the backup bidder.

Upon receipt of the completed registration form and the required deposit, Auction Company will provide you with a bidder number and the information needed to call into the teleconference auction on the day of the auction.

The Auction Company reserves the right to refuse registration or participation at any time at its sole discretion without notification.

Property Preview: Bidders may inspect the property and are urged to do so by appointment only, contact auction office to schedule. The property will be sold in "As Is" condition without warranty or representation of any nature whatsoever.

Buyer's Premium: A ten percent (10%) buyer's premium will be added to the final bid price.

Finalizing the Agreement of Sale: The purchase price is determined by adding the ten percent (10%) buyer's premium to the final bid on the property. At the conclusion of the teleconference auction, the highest bidder and the backup bidder shall be required to complete and sign the Agreement of Sale and submit it to the Auction Company no later than 4:00 PM on Friday, May 14, 2021 (the "Submission Deadline"). If either the highest bidder or the backup bidder fails to deliver their properly executed Agreement of Sale by the Submission Deadline, that bidder will be in default under these Auction Terms and Conditions and shall forfeit the \$5,000.00 registration deposit as liquidated damages.

Once the Agreement of Sale is signed by the Seller, the registration deposit of the highest bidder will automatically become the earnest money deposit payable under the Agreement of Sale. The successful purchaser shall make an additional deposit of ten percent (10%) of the final purchase price in certified funds within two (2) business days of the Agreement of Sale being signed by the Seller. Once the Auction Company receives that additional deposit, the registration deposit of the backup bidder will be returned.

However, if the highest bidder does not submit a properly executed Agreement of Sale to the Auction Company and/or does not send the additional ten percent (10%) deposit then the highest bidder shall forfeit the registration deposit as liquidated damages. In that event, the backup bidder will then become the purchaser and shall be required to make an additional deposit of ten percent (10%) of the final purchase price in certified funds within two (2) business days of that Agreement of Sale being signed by the Seller. If the additional deposit is not received by the Auction Company within the designated time frame, the backup bidder shall forfeit the \$5,000.00 registration deposit as liquidated damages.

If the Seller does not sign the Agreement of Sale, the deposit(s) will be returned to the appropriate bidder(s) and the Agreement of Sale will become null & void.

Settlement: The balance of the purchase price together with the net amount of any adjustments shall be paid by cashier's check at the time of settlement. Settlement will take place on or before Friday June 11, 2021.

Title: The successful purchaser will receive a deed for the property at the time of settlement.

Conditions: The property will be sold in "AS IS" condition without warranty or representation of any nature whatsoever. All statements oral or written made at or before the time of the auction including but not limited to the sale brochure, advertisement, or the bidder's information package, pertaining to but not limited to location, zoning, taxes, condition, title, survey, etc. of the property are for information only, and should be verified by the purchaser prior to making a bid and such bid shall not be in reliance upon any representations oral or written made by WM. F. COMLY & SON, INC. or its representatives. All announcements from the auction block will take precedence over any previously printed material or any other statements made.



1825E.BostonStreet
 Philadelphia, PA 19125-1296
 215-634-2500 - auctions@comly.com
comly.com

Registration Form

Teleconference Auction Sale: Wednesday, May 12, 2021

910 DeKalb Street, Norristown, PA 19401

Date:

Company Name	
First Name	
Last Name	
Mailing Address	
City, State, Zip	
Telephone	
Fax Number	
Email Address	
Deposit- \$5,000.00 (Cashier's Check or Wire Transfer)	

I acknowledge that I have read, am familiar with, and agree to comply with the Terms & Conditions of the auction sale.

Signature _____

Date _____

Deposit Received _____	Bidder Number _____
------------------------	---------------------

This registration form may be faxed or emailed to Auction Office. Mail cashier's check deposit to our office at the address listed above. Contact Auction Office for wire instructions at (215) 634-2500.



BROKER PARTICIPATION REQUIREMENTS

Comly Auctioneers & Appraisers will share its commission with any broker whose qualified buyer pays in full and settles on the property.

To qualify for a commission, the real estate agent must be a qualified and duly licensed broker, and must first register the buyer by sending in the buyer/broker registration form. Both you and your prospect must sign and date the form where indicated.

Comly Auctioneers & Appraisers must receive the buyer/broker registration form at or before any inspection of the property by the buyer and, in any event, at least forty-eight (48) hours prior to the auction. The broker must inspect the property with the buyer and sign in with the buyer during a scheduled property inspection.

A complete registration file on all brokers and buyers will be maintained.

No commission will be paid by the seller to any broker participating in the purchase of the property and an affidavit will be required that the broker is serving only as a broker and not as principal and is not related to or affiliated with the buyer in any way.

The auction company will pay a commission up to two (2%) percent of the final bid price. No commission will be paid to any broker unless all of these requirements are satisfied. There can be no exceptions to this procedure and no oral registrations will be accepted.

BUYER/BROKER REGISTRATION FORM

(Must be completed IN FULL and forwarded to Auction Company within forty-eight (48) hours of the auction sale)

Auction Property Information

Broker / Agent Information

Broker / Agent's Name	Real Estate License #
Company	Address
City / State / Zip Code	Email
Telephone / Fax	

Buyer Information (will remain confidential)

Name	Company (if applicable)
Address	City / State / Zip Code
Email	Phone / Fax

Broker / Agent hereby agrees to the following: If my buyer is the successful bidder at the auction and settles on the property, I will receive a commission of **two percent (2%) of the opening bid submitted on this form and one percent (1%) of all amounts over the opening bid made by my buyer. If no opening bid is submitted the total commission due is one percent (1%) of the high bid.**

Broker / Agent	Date
-----------------------	-------------

Buyer hereby agrees to the following: I shall not withdraw or rescind my opening bid prior to or following the start of the auction.

Potential Buyer	Date
------------------------	-------------

<p>\$ _____</p> <p>OPENING BID AMOUNT</p> <p>(Must be filled out for Broker / Agent to receive a 2% commission)</p>
--

Comly Auctioneers & Appraisers	Date
---	-------------

AGREEMENT OF SALE

This agreement of Sale of Real Estate dated this 12th day of May, 2021 between Qore Development Inc. whose address is 6538 N 16th Street, Philadelphia, PA 19126 (“Seller”)

AND Buyer’s Name: _____ (“Buyer”)

Buyer’s Social Security No. or Tax ID No.: _____

Buyer’s address: _____

Buyer’s telephone number: _____

Buyer’s fax number: _____ Cell number: _____

Buyer’s email address: _____

The words Buyer and Seller jointly and severally include all buyers and sellers listed above.

- 1. SALE AND PURCHASE.** Seller hereby agrees to sell and convey to Buyer, who hereby agrees to purchase the property described in this Agreement.

- 2. PROPERTY.** The property to be sold consists of (a) the land and all the improvements, and fixtures on the land, if any; and (b) all of Seller’s rights and obligations relating to the land. Together, these are referred to as the “Property.” The Property to be sold is located in the County of Montgomery, City of Norristown in the Commonwealth of Pennsylvania, also known as: 910 DeKalb Street. The Property is also identified as Tax Parcel Number: 13-00-09636-00-8.

3. PURCHASE PRICE.

High Bid \$ _____

Plus a 10% Buyer’s Premium \$ _____

Equals the Purchase Price of \$ _____
(the “Purchase Price”).

- 4. PAYMENT OF PURCHASE PRICE.** Buyer will pay the Purchase Price as follows:

Registration Deposit \$ 5,000.00
(wire transfer or bank check)

Additional Deposit of ten percent (10%) of the final purchase price within two (2) business days of acceptance of offer by Seller \$ _____

At settlement \$ _____
(wire transfer or bank check)

The Deposit will be held by Wm. F. Comly & Son, Inc. (“Auction Company”) in an escrow bank account until settlement. If settlement is completed in accordance with this Agreement, the Deposit will be credited to Buyer. If there is a dispute between Buyer and Seller over who is entitled to the Deposit, Auction Company will not be responsible to resolve that dispute and will not be liable to either Buyer or Seller for refusing to release the Deposit without an adequate written agreement between Buyer and Seller or a final order of a court of competent jurisdiction.

5. **CASH TRANSACTION.** The Buyer represents and warrants that Buyer presently has sufficient cash and assets to pay the Purchase Price in full. This Agreement is not contingent in any way upon Buyer obtaining a mortgage or any other type of financing to complete the purchase or selling any other property.
6. **FIXTURES AND PERSONAL PROPERTY.**
 - a. INCLUDED in this sale and Purchase Price are all existing items.
7. **TIME AND PLACE OF SETTLEMENT.** The settlement will take place on or before Friday, June 11, 2021. Final settlement will be held at the local office of attorney or Title Company representing the Buyer unless otherwise agreed upon between Buyer and Seller. Such office shall be within five miles of the Property unless otherwise agreed upon between Buyer and Seller. Buyer will give Seller at least ten (10) days written notice of the date and place of settlement. The date of settlement is not extended by any other provisions of this Agreement and may only be extended by written agreement between Buyer and Seller.
8. **DATES/TIME IS OF ESSENCE.** Seller and Buyer agree that all times and dates for performance of this Agreement are of the essence. This means that Seller and Buyer must perform what is required of them within the time limits set by this Agreement.
9. **TRANSFER OF OWNERSHIP.** At the settlement, Seller will transfer ownership of the Property to Buyer. Seller will give Buyer a properly executed deed (the “Deed”). A deed is a written document used to transfer ownership of property.
10. **PREPARATION OF DOCUMENTS. CONVEYANCING EXPENSES.** The Deed will be prepared, acknowledged and delivered by Seller, and recorded by and at the expense of Buyer. The deed must be presented by Seller to Buyer for examination and approval at least ten (10) days prior to the date fixed for the settlement. All other settlement expenses including, without limitation, title searches, and title insurance, will be paid by Buyer. Buyer agrees to provide Seller with a copy of Buyer’s title insurance commitment at least ten (10) days before the time fixed for the settlement.
11. **TRANSFER TAXES/FEES.** Any and all real estate transfer taxes or fees imposed upon this sale will be divided and borne equally between Buyer and Seller.

- 12. ADJUSTMENTS AT SETTLEMENT.** At the time of settlement, the following will be adjusted pro-rata on a daily basis between Buyer and Seller reimbursing where applicable: all real estate taxes and assessments for the current year (in no event will Seller be charged with or responsible for any increase in the real estate taxes after settlement), if any; water and/or sewer fees, if any, together with any other lienable municipal service, if any, rents due from current tenants. The charges are to be pro-rated for the period(s) covered; Seller will pay up to and including the date of settlement; Buyer will pay for all days following settlement.
- 13. DEFAULT.** If Buyer fails to consummate the settlement as required by, and in compliance with the terms of this Agreement, Seller may either: (a) keep the Deposit as liquidated damages and not as a penalty (this means that Seller is conclusively presumed to have suffered damages in the amount of the Deposit and may keep the Deposit without proving those damages in court); or (b) apply the Deposit toward the Purchase Price and pursue any legal or equitable remedies available. In order to enforce the provisions of this Agreement against Buyer, Seller will not be required to formally offer (tender) to Buyer a deed to the Property if Buyer defaults in paying the balance of the Purchase Price. Buyer acknowledges that its waiver of any right it may have to prove that Seller has suffered actual damages in an amount less than the Deposit is a material inducement to Seller entering into this Agreement with Buyer and that were if not for that waiver, Seller would not have entered into this Agreement with Buyer.
- 14. INSPECTION BY SURVEYORS, ENGINEERS, APPRAISERS AND/OR INSPECTORS.** Seller agrees to permit inspections upon reasonable advance notice, by authorized appraisers, reputable certifiers, insurer's representatives, surveyors, municipal officials and/or Buyer as may be required by Buyer's mortgage lender, if any, and insuring agencies. Seller further agrees to permit any other inspections required by or provided for in the terms of this Agreement. Buyer has the right to attend all inspections. Buyer reserves the right to make a pre-settlement walk-through inspection of the Property. Buyer's right to make this inspection is not waived by any other provision of this Agreement.
- 15. MORTGAGE FINANCING.** This sale is not conditional upon the Buyer obtaining mortgage financing. If Buyer does apply for a mortgage and the mortgage company requires inspections of the Property they must be done in a reasonable time and upon reasonable advance notice, and the cost of those inspections and repairs is the responsibility of the Buyer and not the Seller.
- 16. POSSESSION.** Possession is to be delivered by Deed and physical possession to Property.
- 17. CONDITION AND INSURABILITY OF TITLE AND COSTS.**
- a. The property is to be conveyed free and clear of all liens, encumbrances, and easements, excepting however the following: existing deed restrictions, historic preservation restrictions or ordinances, building restrictions, ordinances, easements of roads, easements visible upon the ground, easements of record, privileges or rights of public service companies, if any, land use restrictions pursuant to property enrollment in a preferential tax program, if any; otherwise the title to the Property will

be good and marketable and such as will be insured by a reputable Title Insurance Company at the regular rates.

- b. In the event Seller is unable to give good and marketable title and such as will be insured by a reputable Title Insurance Company at regular rates, as aforesaid, Buyer will have the option of taking such title as Seller can give without changing the Purchase Price or of being repaid all monies paid by Buyer to Seller on account of the Purchase Price in which event this Agreement will become void.
- c. Buyer will pay for the following:
 - (1) Title search, title insurance and/or mechanics lien insurance or fee for cancellation of same, if any;
 - (2) Flood insurance, fire insurance with extended coverage, and cancellation fees, if any;
 - (3) Buyer's customary settlement costs and charges.
- d. If Seller is unable to transfer title as required by this Agreement, Seller shall have an additional ten (10) days from the date fixed for settlement to correct any defect in title. If at the end of the additional ten (10) days Seller is still unable to transfer title in accordance with this Agreement, Buyer may cancel this Agreement. If Buyer cancels this Agreement, Seller shall instruct Auction Company in writing to pay to Buyer the entire amount of the Deposit held by Auction Company, this Agreement shall become void, and Seller shall not be liable for any other claim. In lieu of cancelling this Agreement, Buyer may, however, accept such title as Seller can convey, without any reduction in the Purchase Price.

18. ZONING CLASSIFICATION. The current zoning classification for the property is Commercial. Buyer agrees to purchase the Property in its present condition “as is”. Seller does not represent that the Property may be used for any particular purpose.

19. ASSESSMENTS FOR MUNICIPAL IMPROVEMENTS. Certain municipal improvements such as sidewalks and sewers may result in the municipality charging the property owners to pay for the improvement. All assessed charges against the Property for work completed before the date of this Agreement will be paid by Seller at or before the settlement. Seller shall not be liable for any work done or ordered done after the date of execution of this Agreement by any municipality, agency, or other public authority, or for any notice issued after the date of execution of this Agreement which directs any action to be done or not to be done on, in, or to the Property by any municipality, agency, or other public authority, and Buyer agrees to take title subject to any lien that may be recorded as a result thereof.

20. STATUS OF WATER. Seller represents that the Property is served by public water.

21. STATUS OF SEWER. Seller represents that Property is served by public sewer.

22. INSPECTION OF THE PROPERTY. BUYER ACKNOWLEDGES THAT BUYER HAS BEEN GIVEN THE OPPORTUNITY TO AND HAS ADEQUATELY INSPECTED THE PROPERTY AND/OR HAS WAIVED THE

OPPORTUNITY TO MAKE SUCH AN INSPECTION. BUYER FURTHER ACKNOWLEDGES THAT BUYER HAS ENTERED INTO THIS CONTRACT AS A RESULT OF THE INSPECTION MADE BY BUYER AND NOT AS A RESULT OF ANY ADVERTISEMENT, HANDBILL, OR ANY OTHER REPRESENTATION, OR WARRANTY, EITHER ORAL OR WRITTEN, EXPRESS OR IMPLIED, MADE BY SELLER, ANY OF ITS EMPLOYEES, REPRESENTATIVES, AGENTS, OR THE LIKE, ANY SELLING AGENT OR BY AUCTION COMPANY. BUYER FURTHER AGREES THAT NEITHER SELLER NOR AUCTION COMPANY SHALL BE RESPONSIBLE FOR ANY ERRORS IN ANY ADVERTISEMENT, HANDBILLS, OR ANNOUNCEMENT MADE neither BY SELLER OR AUCTION COMPANY NOR FOR ANY AGREEMENT, CONDITION, OR REPRESENTATION, INCLUDING BUT NOT LIMITED TO ANY REPRESENTATION REGARDING THE VALUE OF ANY REAL ESTATE, OR ANY STIPULATION, ORAL OR WRITTEN, NOT CONTAINED IN THIS CONTRACT. BUYER HAS MADE AN INDEPENDENT DETERMINATION OF THE VALUE OF THE PROPERTY AND HAS NOT RELIED ON ANY INFORMATION FROM SELLER OR SELLER'S AGENT(S) REGARDING THE PROPERTY'S VALUE.

- 23. PHYSICAL CONDITION OF THE PROPERTY.** The property is being sold “As Is, Where Is” and “with all faults and defects”, and Buyer acknowledges that Seller and Auction Company have not made and Buyer has not relied upon any representation or warranty regarding the Property. Seller and Auction Company do not make any claims or promises whatsoever about the Property including, without limitation, the condition or value of the Property. Neither Seller nor Auction Company makes any representations as to the presence or absence of any hazardous or toxic substances on the Property. Buyer agrees to accept the Property (including any and all improvements located thereon) in “as is” condition, without any representations or warranties of the Seller or Auction Company.
- 24. FLOOD AREAS.** The federal and state governments have designated certain areas as flood areas. If the Property is located in a flood area, the use of property may be limited. Seller makes no representation as to whether or not the Property, or any portion thereof, is in a flood area.
- 25. REAL ESTATE RECOVERY FUND.** A Real Estate Recovery Fund has been established by the Commonwealth of Pennsylvania to reimburse any person who has obtained a final civil judgment against a Pennsylvania real estate licensee as a result of fraud, misrepresentation, or deceit in a real estate transaction, if that person has been unable to collect the judgment after exhausting all legal and equitable remedies. For complete details about the Fund, call (717) 783-3658.
- 26. PERFORMANCE OF DUTIES.** Auction Company is performing its duties under the rules and regulations set forth in the Auctioneer and Auction Licensing Act of the Commonwealth of Pennsylvania. For information call (717) 783-3397.
- 27. CONDEMNATION/TAKING OF THE PROPERTY BY EMINENT DOMAIN.** If all or a material part of the Property is taken between the date of this Agreement and the date of settlement by the exercise of the power of

- condemnation/eminent domain by any local, state, or federal body, Buyer may either: (a) terminate this Agreement and receive a refund of the Deposit; or (b) complete settlement at the full Purchase Price, in which case Buyer shall be entitled to an assignment of all rights to the condemnation/eminent domain award or compensation.
- 28. RECORDING.** Buyer shall not record this Agreement or any memorandum of this Agreement in any state, county, or municipal recording office. Any recording or attempt at recording will be deemed a breach of this Agreement and be null and void.
- 29. ASSIGNMENT.** Buyer shall not assign this Agreement without the express prior written consent of Seller, which may not be unreasonably withheld by Seller. In the event that the Seller consents to Buyer assigning its rights under this Agreement, any such consent shall in no way release Buyer or any person or entity claiming by, through, or under Buyer from any of its obligations under this Agreement.
- 30. ADVERTISING OF AUCTION.** Buyer agrees that lot sizes, lot areas, lot plans, building descriptions, building locations, equipment & contents of the building shown or described in any Auction circular or other Auction advertisement of this sale may not be accurate. Buyer further agrees that Buyer is relying upon the description contained in or referred to in this Agreement, and upon his own inspection of the Property and not upon any other description or representation made by Seller or Seller's agents.
- 31. USE AND OCCUPANCY.** Buyer recognizes that prior to any use or occupancy of the Property Buyer will be responsible for obtaining any governmental permits, including but not limited to a municipal use and occupancy permit. Buyer's obligation to complete settlement is NOT contingent upon Buyer obtaining any such permits and Buyer specifically agrees that Buyer shall be obligated to complete settlement even if Buyer has not yet obtained all permits required to use or occupy the Property.
- 32. ESCROWEE.** It is understood and agreed that Auction Company shall not be held liable by either Seller or Buyer for the performance or nonperformance of any provision of this Agreement, except to account for any Deposit paid to it. Buyer and Seller shall indemnify and hold Auction Company harmless for any and all costs, claims, liability or damages of any kind resulting from this Agreement, including, but not limited to, reasonable attorney fees. The obligation of this paragraph shall survive settlement.
- 33. CERTIFICATION OF NON-FOREIGN INTEREST.** Seller is not a "foreign person" (as defined in Section 1445(f) of the United States Internal Revenue Code of 1954, as amended (the "Code")) and Seller will, at the Closing, furnish an appropriate affidavit to such effect in order that no withholding of tax will be required pursuant to Section 1445 of the Code.
- 34. RISK OF LOSS.** Any loss or damage to the Property caused by fire, or other casualty commonly covered by extended endorsement by reputable insurance

companies, between the date of this Agreement and the settlement date shall not in any way void or impair any of the conditions and obligations hereof, and Buyer shall be required to accept the Property in its then damaged condition without abatement of the Purchase Price (except for the credit referenced below). It shall be the Buyer's responsibility at his own cost and expense to carry such insurance on the Property, from and after the date hereof, as he may deem advisable. The Seller shall continue to keep in effect all of its current insurance policies in connection with the Property (collectively, "Seller Policies") at their present insured value until the settlement date. Any amounts recovered by Seller under the Seller's Policies shall be assigned to the Buyer at settlement (this process will not affect the commission or buyer's premium). There shall be no other reduction in the Purchase Price by reason of such unpaid claim.

35. NOTICES. Except as otherwise provided, all notices to be given by either party to the other shall be in writing and delivered personally or sent by Certified Return Receipt First Class United States Mail, postage paid, by recognized overnight delivery service providing positive tracking of items (for example, Federal Express) to the address first written above.

36. MISCELLANEOUS.

- a. All of the representations and warranties contained in this Agreement, all covenants, agreements, and indemnities made herein, and all obligations to be performed under the provisions hereof shall survive settlement.
- b. This Agreement may be executed in two or more counterparts, each of which shall be deemed an original, and all counterparts shall collectively constitute a single agreement.
- c. If any term, covenant, condition or provision of this Agreement or the application thereof to any person or circumstance shall be invalid or unenforceable, at any time or to any extent, the remainder of this Agreement, or the application of such term or provision to persons or circumstances other than those as to which it is held invalid or unenforceable, shall not be affected thereby, unless such invalidity or unenforceability materially frustrates the intent of the parties as set forth herein. Each term, covenant, condition and provision of this Agreement shall be valid and enforced to the fullest extent permitted by law.
- d. The captions in this Agreement are inserted for convenience of reference only and in no way define, describe, or limit the scope or intent of this Agreement or any of the provisions hereof.
- e. Formal tender of an executed deed is hereby waived.
- f. This Agreement shall be binding upon and shall inure to the benefit of the parties hereto and their respective heirs, executors, administrators, legal representatives, successors, and permitted assigns.
- g. This Agreement, including any exhibits and addendums attached hereto, contains the whole agreement as to the Property between Seller and Buyer, and there are no other terms, obligations, agreements, covenants, representations, statements, or conditions, oral or otherwise, of any kind whatsoever, concerning this sale and purchase. This Agreement shall not be altered, amended, changed or modified except in writing executed by the parties hereto.

- h. This Agreement shall be construed in accordance with the laws of Pennsylvania.
- i. Both parties to this Agreement have participated fully and equally in the negotiation and preparation hereof, and therefore, this Agreement shall not be more strictly construed, or any ambiguities within this Agreement resolved, against either party hereto.
- j. Attached to this Agreement is the Seller's Disclosure Statement.
- k. Attached to this Agreement is the Disclosure of Information on Lead Based Paint and/or Lead Based Paint Disclosure.
- l. Buyer acknowledges receipt of these Disclosure Statements prior to execution of this Agreement of Sale.

IN WITNESS WHEREOF, intending to be legally bound, the parties have caused this Agreement to be duly executed, under seal, as of the day and year first above written.

WITNESS:

SELLER:

BY: _____

WITNESS:

BUYER:

BY: _____

WITNESS:

BUYER:

BY: _____